

PENINSULA TOWNSHIP

13235 Center Road, Traverse City MI 49686

Ph: 231.223.7322 Fax: 231.223.7117

www.peninsulatownship.com

PETER A. CORREIA
SUPERVISOR

MONICA A. HOFFMAN
CLERK

DAVID K. WEATHERHOLT
TREASURER

MARK D. AVERY
TRUSTEE

JILL C. BYRON
TRUSTEE

PENELOPE S. ROSI
TRUSTEE

WENDY L. WITKOP
TRUSTEE

REGULAR TOWNSHIP BOARD MEETING

May 10, 2016

7:00 p.m.

Township Hall

Agenda

1. **Call to Order**
2. **Pledge**
3. **Roll Call**
4. **Approve Agenda**
5. **Brief Citizen Comments – for items not on the Agenda**
6. **Conflict of Interest**
7. **Consent Agenda**

Any member of the Board, staff, or the public may ask that any item on the Consent Agenda be removed and placed elsewhere on the agenda for full discussion.

1. Reports and Announcements (as provided in packet)
 - A. Officers – Clerk, Supervisor, Treasurer
 - B. Departmental – Planning Commission, Zoning Board of Appeals, Attorney, Engineer, Library, Fire Board, Park Commission and Township Deputy.
 2. Correspondence (as provided in packet)
 3. Edit lists of invoices (recommend approval)
 4. Meeting Minutes
 - March 14, 2016 Special Meeting Closed Session
 - April 12, 2016 Regular Meeting
 - April 18, 2016 9:00am Special Meeting & Closed Session
 - April 18, 2016 5:30pm Special Joint Township Board/Planning Commission Meeting
 - April 25, 2016 2nd Regular Meeting
 - April 26, 2016 10:00am Union Negotiation Committee Meeting
 - April 26, 2016 6:00pm Special Joint Township Board/Planning Commission Meeting (recommend approval)
 5. April 2016 Payroll (recommend approval)
 6. Parade of Homes Sign Placement Request (recommend approval)
8. **Township Board Business**
1. Kahn 2nd Opinion – Verbal
 2. National Cherry Festival Race 2016 Large Event Permit – Public Hearing
 3. The 81 – Public Hearing

4. Special Assessment District Braemar/Old Mission Estates - Informal Presentation by Joe Quandt
5. School Board Resolution (Tabled from April 12, 2016)
6. Accept Fire Board Resignations
7. Brining Contract (Tabled for April 25, 2016)
8. PDR Selection Committee (Tabled for April 25, 2016)
9. Resolution To Do Speed Study on Bluff Road

9. Citizen Comments

10. Board Comments

11. Adjournment

Peninsula Township has several portable hearing devices available for audience members. If you would like to use one, please ask the Clerk.

Clerks Report – Township Board Meeting

May 4, 2016

I have been working with a group of local clerks to update/revise the upcoming election training manuals.

I have asked for three bids for removal of the large Oak in the Bohemian Cemetery tree. I'll have this on the May 23rd agenda.

There is a leak in the roof at Station 2. Rodney Mills from Mills Construction informed me that the roof is a first generation ProCall PVC roof. It has cracked due to the cold weather over the past few winters, and we are not sure but this may be the original roof. The cracking is not due to the storm last summer. Randy and I are getting bids for the flat part of the roof from Mills, Arrow, and Bloxsom Roofing.

Monica A. Hoffman CMMC / CMC

Peninsula Township Clerk

Treasurer's Report

5/4/2016

To: Peninsula Township Board

Re: Treasurer Report for May Board meeting

Fellow Board Members:

Treasurer Report:

I am still in conversation with AT&T about the lease agreement that ends in 2018

Find Cash Balance Sheet on your desk at the meeting

I welcome any questions or comments.

David K. Weatherholt



Peninsula Township Treasurer

Peninsula Township Fire Department

May 3, 2016

The painting and refinishing of the day room at station 1 is complete. A big thank you to Megan Blackmer for picking out our colors. The work was completed by the duty crew and looks great. Please feel free to stop by and check it out.

We have responded to a total 120 this year, through April 30th.

I currently have three people that have expressed interest in joining the fire department. I am waiting for their resumes and will assume that its ok for me to bring new members on unless the Board tells me otherwise.

I am in the process of getting the passwords for our server, copy machine, and laptop from Chief Ronk. The Laptop is back in our possession

By the end of May we should be switched over to the new 800 mhz. radios and pagers that the County purchased for us through the 911 surcharge. City Fire, Metro, Sheriff's Department and North Flight are already switched over and the transition is going well.

We are in the process of switching billing companies for our medical calls. This company will save us time and money and make deposits directly to our accounts, then report to the Treasurer's office. I will be tracking what they bill out to assure that our residents don't get billed for uncovered expenses and working with Mary and David if issues come up.

I would like to acknowledge Bader and Sons Co. from Lake City who have donated the use of three John Deere Gators for the Bay Shore Marathon. There will be a small charge for delivery since they will be making two trips but that expense will be passed on the Bay Shore organization when I bill after the race.

We did not bill out Bay Shore costs last year. I don't know why, but as far as I know the policy to pass the department expenses on has not changed, so I will be billing everything out this year unless the Board advises me otherwise.

Feel free to contact me at 231.463.0330 with any questions.



Randy Rittenhouse
Acting Chief



Director's Report

Statistics for April

Circulation April 2015 – 3853
Circulation April 2016 – 3230
Outgoing Hold Transits – 836
Incoming Hold Transits – 158
Internet Users – 438 + 52 (TCAPS Units)
Reference Questions – 341
Special Requests – 23
New Card Registrations – 8 (Temp. 0)
TumbleBooks Users – 61 (11,7446 since 4/11)
Manual Checkouts - 90
Volunteer Hours – 31 Hours, 9 Volunteers
Garden Volunteers – 3 Hours, 2 Volunteers
Student Volunteers – 2 Hours, 1 Volunteers

April Activity Attendance

(429 @ 20 programs)

Staines Concert – 63
Teens and Funnel Art - 20
Pageturners Book Club – 11
Yoga - 22 (4 sessions)
Chapter Chicks 17
Friends - 18
Story Stew – 39 (2 sessions)
Tech Help – 2
Table Crafts - 87
Reading Dog – 20 (3 sessions)
Talbots Day - 41
Smart Money Kids - 29
Smart Money Adults – 6
Volunteer Lunch – 54

ODDS AND ENDS

Many thanks to the TADL Board and Gail for the approval of the PCL/TADL contract. The Board and Staff of PCL look forward to a long continued and mutually beneficial relationship!

PCL Volunteers were thanked at a luncheon on April 29th in the library. 54 people were treated to a catered Italian luncheon, as well as jazz music provided by the duo Feast on Jazz.

A proposed budget for the July 1, 2016 – June 30, 2017 fiscal year will be presented at the PCL Board Meeting May 9th at 4:30 PM.

Author Michael Dow joins us May 16 at 7 PM to talk about his book, *Dark Matters*.

A DIY art program from recycled materials is being offered at PCL May 21 from 9-noon. Attendees are invited to craft a sculpture from odds and ends that we have had lying around the library and school.

Garden plans are in the works for our vegetable table beds as well as cleanup of our gardens. We appreciate the involvement of both the PTO and community members. Lara Shurly will be offering a garden marker workshop June 11 to provide an artistic touch to the vegetable beds. Markers will be painted on wooden spoons.

Just a reminder that when Traverse City Area Public Schools are closed due to weather, PCL is also closed.

YOUNG, GRAHAM, ELSENHEIMER & WENDLING, P.C.
Attorneys at Law
P.O. Box 398
Bellaire, MI 49615
(231) 533-8635

Invoice submitted to:
Peninsula Township
13235 Center Road
Traverse City, MI 49686

RECEIVED
TOWNSHIP
CLERK

April 08, 2016

In Reference To: Telephone Retainer Quarterly Summary
Invoice # 19269

Professional Services

	<u>Amount</u>
<u>Fire Board</u>	
3/21/2016 telephone call from township clerk regarding fire boat	NO CHARGE
SUBTOTAL:	[0.00]
<u>Kahn ZBA matter</u>	
1/5/2016 received and reviewed email from township assessor with report from surveyor	NO CHARGE
1/6/2016 return telephone call to township assessor regarding prosecuting attorney matter	NO CHARGE
received and reviewed email from township assessor with information related to division matter	NO CHARGE
SUBTOTAL:	[0.00]
<u>Miscellaneous/General</u>	
1/4/2016 telephone call from Michelle regarding Kahn matter and letter from the prosecuting attorneys office	NO CHARGE
1/11/2016 review and respond to emails from Monica, Jill and Penny regarding issues raised in Bryan's letter to prosecuting attorney Cooney regarding Kahn; telephone call from Monica	NO CHARGE
1/12/2016 return telephone call to township supervisor regarding land division matter	NO CHARGE

	<u>Amount</u>
1/12/2016 telephone call from township treasurer regarding boat sale	NO CHARGE
1/14/2016 telephone call from township clerk regarding confidential memo	NO CHARGE
1/19/2016 received and reviewed email from office manager regarding FOIA request; email to office manager regarding matter; received and reviewed additional email from office manager regarding FOIA matter; returned telephone call to office manager regarding matter	NO CHARGE
return telephone call to deputy township clerk regarding FOIA matter	NO CHARGE
1/20/2016 received and reviewed email from office manager regarding FOIA matter; email to office manager regarding matter	NO CHARGE
1/25/2016 telephone call from Michelle regarding Braemar meeting on Saturday, January 23	NO CHARGE
1/27/2016 telephone call from Pete regarding Braemar Estates issue	NO CHARGE
2/2/2016 call from Pete Correia regarding Braemar and Logan Hills drain matters	NO CHARGE
2/3/2016 telephone call from Monica Hoffman regarding upcoming board meeting	NO CHARGE
email from Pete regarding Logan Hills Maple Terrace road commission meeting; telephone call to Pete regarding same	NO CHARGE
2/4/2016 telephone call from Monica Hoffman regarding agenda item on board packet	NO CHARGE
2/10/2016 telephone call from Sally regarding Logan Hills property which is under ownership of long deceased owner, special assessment procedures regarding same	NO CHARGE
telephone call from Pete Correia regarding a planning meeting with road commission and Logan Hills meeting	NO CHARGE
2/12/2016 question from Pete regarding township requirements for fire protection	NO CHARGE
2/22/2016 telephone call from deputy township clerk regarding quorum question	NO CHARGE
2/23/2016 review emails to Sally regarding Baumann Trust	NO CHARGE
2/24/2016 call from Monica regarding fire chief matter	NO CHARGE
2/29/2016 received and reviewed email from office manager regarding FOIA matter; email to office manager regarding matter	NO CHARGE
3/1/2016 call from Monica regarding fire board issue	NO CHARGE
3/2/2016 email from Susan Piehl regarding FOIA request, respond regarding same	NO CHARGE
telephone conference with Michelle regarding FEMA boat grant	NO CHARGE
3/3/2016 telephone call with Michelle regarding information for Cara Blair so that she may answer township's questions pertaining to FEMA boat	NO CHARGE

	<u>Amount</u>
3/3/2016 email from Sally regarding Prosecuting attorney 116 approvals; return call regarding same	NO CHARGE
3/7/2016 review email involving labor/unionization matter, discuss with Monica; telephone call to labor expert attorney Steven Schwartz regarding same	NO CHARGE
email from Monica regarding petition filed with Michigan Employment Relations Commission	NO CHARGE
3/17/2016 emails from Susan regarding FOIA request #16-09, answer	NO CHARGE
3/21/2016 reviewed email from Pete Correia regarding draft letter to firefighters; telephone call to supervisor Correia; suggest that matter be discussed with labor counsel, Steve Schwarz	NO CHARGE
email from Sally regarding Braemar special assessment district	NO CHARGE
SUBTOTAL:	[0.00]
<u>Zoning matters</u>	
1/7/2016 email from Michelle with attached materials for upcoming planning commission meeting regarding Villa Mari	NO CHARGE
email from Michelle regarding Underwood Ridge Road easement with attached, reviewed same	NO CHARGE
email from Michelle with additional materials on Villa Mari, reviewed same	NO CHARGE
1/11/2016 email from Michelle with additional materials on Villa Mari	NO CHARGE
1/12/2016 email from Michelle regarding outline of Villa Mari issues	NO CHARGE
1/20/2016 telephone call and emails from Michelle regarding The 81 and Villa Mari	NO CHARGE
email from Michelle regarding possible Villa Mari plan changes	NO CHARGE
1/26/2016 email from Michelle regarding joint planning commission and township board meeting on Monday, February 22	NO CHARGE
1/27/2016 telephone call from Michelle regarding upcoming planning commission meeting	NO CHARGE
1/28/2016 telephone call from Michelle regarding Bonobo	NO CHARGE
2/1/2016 two emails from Michelle regarding Mari Vineyards plan update	NO CHARGE
2/2/2016 email from Michelle regarding Bowers Harbor lawful nonconforming status and meeting regarding same, reply	NO CHARGE
two emails from Michelle regarding Bonobo violations	NO CHARGE
2/3/2016 email from Allen Couture regarding his inability to attend upcoming planning commission meeting, respond	NO CHARGE

	<u>Amount</u>
2/4/2016 reviewed email from Michelle sent to Mr. Komendera regarding alternate emergency access submitted by applicant dated 7-14-15	NO CHARGE
2/9/2016 telephone call from Michelle Reardon regarding Bonobo	NO CHARGE
reviewed email from Maura regarding Bowers Harbor park expansion	NO CHARGE
2/10/2016 call from Michelle regarding Bonobo enforcement and email from Maura on Bowers Harbor property, Michelle to address Bowers Harbor matter directly	NO CHARGE
telephone call from Michelle regarding zoning question	NO CHARGE
2/11/2016 telephone call from Michelle regarding upcoming planning commission meeting and Bowers Harbor matter	NO CHARGE
reviewed email from Michelle to Linda Stegenga regarding Bowers Harbor vineyards	NO CHARGE
2/16/2016 telephone call from Michelle regarding zoning board of appeals matter	NO CHARGE
email from Pete regarding The 81 community sewer letter, respond regarding same	NO CHARGE
2/17/2016 email from Sally with materials regarding P A 116 exemption, special use permit materials to be reviewed if special use permits move forward at the township level	NO CHARGE
2/22/2016 review and respond to various emails from Michelle regarding The 81, notices, and requirements from the applicant	NO CHARGE
3/2/2016 email from Michelle regarding possible broadband tower, public service commission jurisdiction	NO CHARGE
3/3/2016 initial email findings of fact for Mari Vineyards from Michelle	NO CHARGE
series of emails from Michelle regarding Mari Vineyards and Bonobo matter; respond	NO CHARGE
3/8/2016 telephone call from Michelle regarding The 81 and findings to be redone; email from Michelle regarding same	NO CHARGE
3/9/2016 telephone call from Michelle regarding weekly rentals	NO CHARGE
review emailed letter from Michelle from Brian Boals regarding items needed for upcoming 81 hearing; telephone call from Michelle regarding same	NO CHARGE
3/10/2016 reviewed email from Michelle regarding special use permit #123; telephone call from Michelle	NO CHARGE
3/15/2016 email from Clare Schoolmaster regarding planning commission packet for 3/21 meeting	NO CHARGE
email from Michelle regarding cancellation of public hearing on The 81 for the March meeting; email from attorney Howard regarding same	NO CHARGE

	<u>Amount</u>
3/17/2016 emails from Michelle Reardon regarding restrictive covenant for The 81; reply	NO CHARGE
3/21/2016 reviewed email from Michelle regarding planning commission discussion item; telephone call from Michelle	NO CHARGE
reviewed email from Michelle regarding wine label art competition pertaining to ongoing Bowers Harbor issues	NO CHARGE
two emails from Michelle regarding Bonobo violation matter, reply regarding same	NO CHARGE
 SUBTOTAL:	 [0.00]
 For professional services rendered	 \$0.00
 Balance due	 \$0.00

Mark and Esther (Tess) Williams
10623 Peninsula Drive
Traverse City, MI 49686

RECEIVED
APR 21 2016
CLERK

Grand Traverse County Road Commission
1881 LaFranier
Traverse City, MI 49686

Dear Sir or Madam:

We are property owners who live on Peninsula Drive a little over a quarter of a mile north of Gray Road. We write to express our extreme disappointment with the resurfacing project on Peninsula Drive that began last week with the unnecessary removal of hundreds of healthy trees including at least 17 trees on our property.

We have several concerns we would like to see addressed.

The only notice we had of this project was a brief mention in an article on the TC Ticker about a month ago mentioning this project as one that the commission would undertake this year. We were initially happy because the edge of the road is crumbling and deteriorates monthly. We assumed that the resurfacing would include improvement of the edge/shoulder since the main traveled portion of the road surface is in good shape. We received absolutely no notice of when the project would commence, what it would involve, etc. This is unacceptable. The Bayshore Marathon, which is operated exclusively by a non-profit organization of volunteers, sends us at least two and usually 3 notices each year regarding the impact of their event, and we don't even live on the course. We receive regular notice of township projects like spraying for invasive weeds, even when it is on the other side of the peninsula, and there is no direct impact on our property.

Yet we received no notice when this project would begin. One day, our road was closed to one lane and the next day, we came home to at least 17 trees directly in front of our house having been removed without any notice. Why didn't the commission send the directly affected citizens a postcard or leave a flyer at our home? This problem was exacerbated by the fact that the contractors removing the trees refused to tell us why they were being removed or who contracted with their company for the removal.

Also, the extent of the tree removal is unnecessary and unreasonable. Our year round home is situated on a small parcel located between Peninsula Drive and West Bay. There are very few homes on the bay side on this stretch of Peninsula Drive, but those that are sit on very narrow lots, ours being perhaps the narrowest of those. The trees between our house and the road have been there for decades, undoubtedly surviving earlier road projects. They provided us with privacy and noise reduction, not just esthetic value. We could understand a slightly more aggressive removal if the road/shoulder was being widened, but a representative of the commission told Tess that there will be no change (asphalt to the fog line, then a narrow, gravel shoulder).

The trees on our property did not overhang or in any way encroach on or over the road or the shoulder. We know this because they were professionally trimmed in the summer of 2014 and again in October 2015 after the August storm (all at our sole expense). We cross the street to get to our garage

and vehicles, so we too had a vested interest in keeping those trees trimmed well away from the road. They would not have impaired, impeded, slowed or inconvenienced the contractor's work resurfacing the road in any way.

The explanation that we received for this "clear cutting" is specious. We were told that the trees were within the right-of-way and anything within the right-of-way can be removed. We understand that this is true. But the fact that the commission has a right to do something does not mean that it is something it should do, that it is something that is necessary, or that it is a reasonable thing to do. The leading edge of one of the trees removed on our property is more than 15 feet from the edge of the road! The suggestion by your contractor that this was necessary is patronizing and insulting. I would dare say that their equipment won't come within 12 feet of the leading edge of that tree.

We are going to repopulate the area between our house and the road with new plantings for erosion control and privacy, but we were given no notice of and cannot even find clear direction as to what we can do. Most road commissions around the state place that information on their websites, but not Grand Traverse County. We want to be assured that we can plant new trees and shrubs in front of our home to restore what every homeowner in this county has a right to expect—some basic privacy--and to be able to live without fear that the clear cutting performed at your direction doesn't lead to soil erosion.

To summarize, in return for getting a new topcoat of asphalt on our road that will not improve the road and will do nothing to remedy the most obvious problem with the road (its edge), we and our neighbors lose hundreds of trees along several miles of our road. Your own representative conceded to Tess that in a few years, the road will probably experience the same problems it does now. The commission probably could have saved enough on the tree removal portion of this contract to improve the shoulder, or at least saved that money to do something that would truly benefit citizens in another part of the county with their roads. Instead, this project has merely served to alienate us and other residents along Peninsula Drive.

Some assurance that we can restore our privacy would go a long way toward restoring some faith in our road commission.

Sincerely,

The image shows two handwritten signatures in black ink. The top signature is more stylized and cursive, while the bottom signature is more legible and appears to read "Tess W.L.". Both signatures are written over a light background.

Mark and Esther (Tess) Williams

CC: Peninsula Township

March 14, 2016

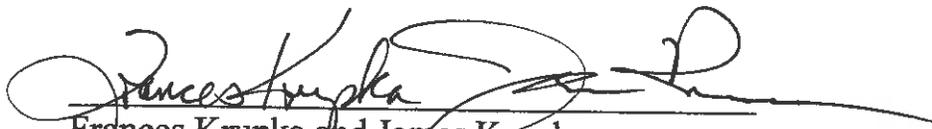
RECEIVED
MAR 14 2016
BY: *WK*

Peninsula Township Supervisor
13235 Center Road
Traverse City, Michigan 49686

Re: Support for the "Project 81"

We own forty acres in the vicinity of and adjacent to the Project 81 tract. This includes water frontage crossed by Rocky Shore Trail on East Bay that is part of our Farm extending to Smokey Hollow Road. Our property has a common point of intersection with the Project 81 tract on our Southeast corner as well acreage that is crossed by the easement that Rocky Shore and Trevor Road residents use for ingress and egress to their properties.

We strongly encourage the Township to proceed without delay to allow the Project 81 to proceed. The project has been well-planned and thoroughly investigated. The project plan is significantly superior to historic development along the waterfront adjoining our property. This is a matter of property rights. The Project 81 tract was available for sale for years and could have been purchased by preservation interests or others who prefer to keep it open. None came forward. The current owners made a large investment in the property and should be afforded the privileges associated with that ownership under Township Zoning Code.


Frances Krupka and James Krupka
16100 Smokey Hollow Road
Traverse City, Michigan 49686

David D. Taft
952 Neahtawanta Road
Traverse City, Michigan 49686

May 3, 2016

Monica Hoffman, Clerk
Peninsula Township
13235 Center Road
Traverse City, MI 49685

Reference: Township Board Meeting
May 10, 2016 – 7:00 PM

Dear Monica:

Relative to the Township Board Meeting and the Notice of Public Hearing on The 81 on East Bay Special Use Permit application, I would ask that you place on the agenda for discussion at the May 10 Township Board Meeting:

**Status of Conditions of Approval for the Special Use Permit application --
SUP #123 Application – The 81 at East Bay**

At the August 11, 2015 meeting of the Township Board, ten conditions were listed that needed to be met before approval of the SUP#123 application may be granted. I believe in view of the resident interest in this development that it would be helpful for the Township Board to provide an update and discussion of the status of each of these conditions listed in the minutes, page 32, of the August 11, 2015 meeting.

Thank you in advance for placing this item on the agenda for discussion at the May 10 Township Board Meeting.

Sincerely,



David D. Taft

Cc: Susan Piehl – Office Manager, Peninsula Township

Peninsula Township Invoice Approval Report

VENDOR	DESCRIPTION/DISTRIBUTION	AMOUNT
ACENTEK	MAY 2016 LIGHTHOUSE TV <i>508-000-850.000</i>	\$52.49 <i>52.49</i>
ACENTEK	OFFICE, FD & LH PHONES <i>206-000-850.000</i> <i>101-253-850.000</i> <i>206-000-850.000</i> <i>206-000-850.000</i> <i>101-173-850.000</i> <i>101-209-850.000</i> <i>101-400-850.000</i> <i>101-420-850.000</i> <i>101-191-850.000</i> <i>101-215-850.000</i> <i>101-173-850.000</i> <i>101-173-850.000</i> <i>101-173-850.000</i> <i>508-000-850.000</i>	\$551.48 <i>54.36</i> <i>44.15</i> <i>36.11</i> <i>40.61</i> <i>37.23</i> <i>49.43</i> <i>54.08</i> <i>41.93</i> <i>29.13</i> <i>29.14</i> <i>49.91</i> <i>48.36</i> <i>1.10</i> <i>35.94</i>
AKERLEY SALLY	ASSESSOR REFRESHER CLASS <i>101-209-960.000</i>	\$20.00 <i>20.00</i>
BATTERIES PLUS BULBS	7.2V LIION <i>206-000-933.000</i>	\$35.99 <i>35.99</i>
BATTERIES PLUS BULBS	1.5V IND AA ALK <i>206-000-933.000</i>	\$18.24 <i>18.24</i>
BRAKE & ALIGNMENT PLUS	2007 GMC SIERRA FRONT <i>206-000-939.000</i>	\$2,886.39 <i>2,886.39</i>
BS & A SOFTWARE	ASSESSMENT SYSTEM & TAX SYSTEM <i>101-253-818.000</i> <i>101-209-818.000</i>	\$1,082.32 <i>541.16</i> <i>541.16</i>
BS & A SOFTWARE	ASSESSMENT SYSTEM AND TAX SYSTEM <i>590-000-818.000</i>	\$318.34 <i>318.34</i>
BS & A SOFTWARE	ASSESSMENT SYSTEM & TAX SYSTEM <i>591-000-818.000</i>	\$318.34 <i>318.34</i>
CITY OF TRAVERSE CITY	TAX DUE DATE AD <i>101-253-900.000</i> <i>225-000-900.000</i>	\$48.00 <i>24.00</i> <i>24.00</i>
CRAIG'S BODY SHOP	2006 GMC PICKUP DOOR LATCH <i>206-000-939.000</i>	\$349.10 <i>349.10</i>

VENDOR	DESCRIPTION/DISTRIBUTION	AMOUNT
CRAIG'S BODY SHOP	2006 GMC PICKUP BUMPER <i>206-000-939.000</i>	774.32 \$774.32
DEERING TREE SERVICE	INSPECT BOHEMIAN CEMETERY TREE <i>101-265-930.000</i>	85.00 \$85.00
DEWEESE HARDWARE	PPR HOLDER <i>206-000-726.000</i>	6.98 \$6.98
DEWEESE HARDWARE	TOWLE HOLDER, COMMAND STRIPS, SOAP, LT BULB, FELT PADS <i>206-000-726.000</i>	33.05 \$33.05
DEWEESE HARDWARE	SHOWER ROD, SET CURTAIN RINGS <i>206-000-726.000</i>	15.98 \$15.98
DEWEESE HARDWARE	LIGHT BULB AND MOP HEADS <i>206-000-726.000</i>	16.67 \$16.67
DEWEESE HARDWARE	ROLLERS, SANDING SPONGE, DRYDEX, SCRAPPER <i>206-000-726.000</i>	41.91 \$41.91
EXCEL OFFICE INTERIORS	DESK CHAIR AND 30X60 TABLE <i>206-000-675.000</i>	273.65 \$273.65
GOURDIE-FRASER, INC	THE 81 ON EAST BAY <i>101-410-818.000</i>	2,280.00 \$2,280.00
HURST MECHANICAL	PREVENT MAINTENANCE INSPECTION ON UNIT HEATERS <i>206-000-930.000</i>	194.00 \$194.00
I.T. RIGHT	VIRUS <i>101-173-818.000</i>	337.50 \$337.50
KOPY SALES, INC.	FD COPIES <i>206-000-818.000</i>	40.00 \$40.00
MCCARDEL CULLIGAN WATER	COOLER RENTAL & WATER <i>101-173-818.000</i>	23.00 \$23.00
MICHIGAN ASSOCIATION PLANNING	MEMBERASHIP <i>101-410-958.000</i> <i>101-430-958.000</i>	428.56 321.44 \$750.00
NORTHERN OFFICE EQUIPMENT	COPIES <i>101-173-818.000</i>	417.02 \$417.02
NORTHERN OFFICE EQUIPMENT	COPIES <i>101-173-818.000</i>	477.17 \$477.17
NYE UNIFORM	LOGO CAPS15 <i>206-000-935.000</i>	319.62 \$319.62

VENDOR	DESCRIPTION/DISTRIBUTION	AMOUNT
O'LEARY PAINT	PAINT <i>206-000-675.000</i>	\$567.37 <i>567.37</i>
PENINSULA COMMUNITY LIBRARY	EXPENSES <i>708-000-223.000</i>	\$18,000.00 <i>18,000.00</i>
PENINSULA TWP TREASURER	PETTY CASH REIMBURSEMENT <i>101-209-726.000</i>	\$9.28 <i>9.28</i>
POMEROY HOME FURNISHING	3 RECLINERS <i>206-000-675.000</i>	\$1,200.00 <i>1,200.00</i>
PRINTING SYSTEMS	1000 ENVELOPES BALLOT OUTER <i>101-191-726.000</i>	\$204.20 <i>204.20</i>
PRINTING SYSTEMS	100 OUTER BALLOT ENVELOPES <i>101-191-726.000</i>	\$204.30 <i>204.30</i>
PURE WATER WORKS	3 SALT <i>101-265-726.000</i>	\$31.70 <i>31.70</i>
REARDON MICHELLE	MILEAGE <i>101-400-870.000</i>	\$41.04 <i>41.04</i>
SCHOOLMASTER, CLAIRE	MILEAGE <i>101-420-870.000</i>	\$19.98 <i>19.98</i>
SMIELEWSKI JAMES	MEDICAL CEU BASIC AIRWAY AND OXYGENATION <i>206-000-960.000</i>	\$150.00 <i>150.00</i>
TC RENTALS, INC	20" BUFFER WITH BRUSH AND PAD <i>206-000-726.000</i>	\$159.00 <i>159.00</i>
THE BANK OF NEW YORK MELLON	PNA 2009 BOND PAYING AGENT FEE <i>212-000-997.CRB</i>	\$750.00 <i>750.00</i>
TRAVERSE CITY LIGHT & POWER	HOMESTEAD STREETLIGHT <i>101-000-226.080</i>	\$7.97 <i>7.97</i>
Total:		\$33,111.40

PENINSULA TOWNSHIP TOWN BOARD
REGULAR MEETING
April 12, 2016

Meeting called to order at 7:03 P.M

MOTION: Weatherholt/Avery to appoint Monica Hoffman as chair.

PASSED UNAN

Present: Avery; Byron; Hoffman; Weatherholt; Witkop; Rosi. Also present were Michelle Reardon, Director of Planning and Zoning, Peter Wendling, Township Attorney and Mary Ann Abbott, Recording Secretary

Absent: Correia (excused)

Approve Agenda

Hoffman There is a document from Kuhn Rogers Law Office and Byron has requested that it be this agenda for clarification of conflict of interest and to be discussed at next meeting. Added as Business item #10.

Hoffman Business #3 Leelanau County is not present tonight.

Motion: Witkop/Byron to accept the Agenda as amended.

PASSED UNAN

Brief Citizen Comments – for items not on the Agenda

None

Conflict of Interest

None

Consent Agenda

Any member of the Board, staff, or the public may ask that any item on the Consent Agenda be removed and placed elsewhere on the agenda for full discussion.

1. Reports and Announcements (as provided in packet)
 - A. Officers – Clerk, Supervisor, Treasurer
 - B. Departmental – Planning Commission, Zoning Board of Appeals, Attorney, Engineer, Library, Fire Board, Park Commission and Township Deputy.
2. Correspondence (as provided in packet)
3. Edit lists of invoices (recommend approval)
4. Meeting Minutes
 - March 7, 2016 Special Budget Meeting
 - March 14, 2016 Special Meeting
 - March 15, 2016 Regular Meeting
 - March 22, 2016 Special Meeting
 - March 28, 2016 Special Year End Budget Meeting (recommend approval)
5. March 2016 Payroll (recommend approval)
6. Log Cabin Days Sign Request
7. Additional Bills of \$30,552.50

Margaret Achorn, 11284 Peninsula Drive requests that the Correspondence (Safe Boat) and the March 28, 2016 Minutes be pulled out.

Byron would like to ask about the money spent for tablets and all the service charges that go along with them. Everything that has been paid to date and the projected expenses.

Witkop Minutes of March 14, 2016 showed that she abstained. Prior to coming to the meeting she had made the decision to abstain and was absent from that meeting. *Wendling* It would be appropriate that you be listed as absent and excused.

Byron Questioned about the March 7, 2016 minute's reference to fee structure. *Reardon* will look at this and sit down with the Clerk.

MOTION: Weatherholt/Witkop to approve Consent Agenda as amended.

PASSED UNAN

Township Board Business

1. Kahn Update- Memo Dated March 23, 2016 and Verbal

Wendling In the packet is a copy of an email to Bryan Graham from April 10 Basically Robert A Cooney stating that he is still investigating the matter and if he decides later to take some action he will. He is working with Andy Smits of Inland Seas and has been in discussions with both Inland Seas Engineering and the Khans'. *Wendling* suggests that since Mr. Cooney has never talked to any one at the office or FOIA'd any information that he is aware of. But if the Township wishes to know what Mr. Cooney is doing he suggests that the Township submits a FOIA to Cooney's office to see what is going on.

Byron there have been questions from the public about what is going on. Now we know that we have not heard from him yet but will let the public know when we do.

2. Safe Boat Update

Hoffman There have been rumors that the Town Board will be making the decision on the Safe Boat tonight. Tonight is just for discussion.

Rosi Would like to have an explanation of the second paragraph of the Memo from Bryan E. Graham dated March 21, 2016 related to the authority of the Fire Board. **Byron** Would like to see the committee to sit down and discuss the ALS service, staffing and buildings to come out with a plan that we are comfortable with. Safe Boat should be part of the discussion. **Weatherholt** We decided if we are able sell it and for how much money. The committee will move with this information. We may not have enough people to run the Safe Boat but we will not know until the committee makes some decisions. **Rosi** Who is on the committee? **Weatherholt** Wendy, I, Pete, John Sprenger and Sherm Atkinson. Not sure what will happen now. **Witkop** I still have not seen the figures on the safe boat.

Hoffman Could we schedule a meeting for next Monday (April 18th) at 9:00 am? This will be an open meeting. A discussion for the Township Board and people from the Fire Department

3. Leelanau County Request

Hoffman Leelanau Country could not be here tonight but wanted us to know that if we ever decide to sell the safe boat that they would be interested.

4. Fire Board - Verbal

Wendling this would be better for the meeting on Monday at 9:00 am. We will have a procedure for you that morning. **Hoffman** We need to decide if we have a Fire Board. **Witkop** if they resign at a public meeting is that enough or does it need to be in writing? *Wendling* This is part of what will be discussed at that meeting. **Hoffman** Three of the five resigned so at the moment we do not have a Fire Board. We as a Board need to decide if we want to continue with a Fire Board.

5. Bluff Road Speed Limit Reduction

Hoffman A speed study was done at the North End of Bluff Road and the residents are requesting us to support their request to reduce the speed limit in that area to 45 mph from 55 mph. This request is going to the Road Commission and the State Police Department.

Motion: Witkop/Byron to support the request of reducing the speed limit from 55mph to 45mph on Bluff Road.

PASSED UNAN

6. School Board Resolution (Tabled from March 28, 2016)

MOTION: Byron/Weatherholt to untable School Board Resolution from March 28, 2016.

PASSED UNAN

Hoffman At the March 28th meeting there was a resolution that Wendling had prepared. You might recall that at that time the Peninsula Community Library asked that they be removed from that Resolution. We have put the Green Lake resolution in your packet. Thought that the Board could work together to prepare the Resolution. **Byron** If there is a contributor offering \$800,000.00 we need to find out what the conditions are. **Avery** read recent news report. **Weatherholt** to call School Board member Clark to get an update.

MOTION: Weatherholt/Witkop to Table Item #6 School Board Resolution to Monday April 18th (9:00am) meeting.

PASSED UNAN

Byron asked that Wendling review this and give you something in writing on the 18th. Also asked board to pay attention to the patterns that appear in the School Board information which look as though they are heading towards regional schools.

7. Bonobo Update

Reardon three citations have been issued for conducting events without a permit. The owner has requested a meeting of their attorneys, which will take place this Thursday afternoon. There may be other citations coming. **Wendling** there will have to be some changes at Bonobo to avoid future tickets and there will need to be changes in order for Bonobo to have future guest activities permits

8. Fifarek ZBA Refund Request

Discussion on the events that lead to the ZBA refund request. **Reardon** provided the history.

MOTION: Avery/Witkop to refund Mr. Fifarek the total cost of the ZBA Request.

Roll Call Vote: Avery -Yes; Byron-Yes; Hoffman-Yes; Weatherholt-Yes; Witkop-Yes; Rosi-Yes

PASSED UNAN

9. Large Event Fee

Reardon reviewed the current Large Event Fees and the discussion that led to the thought of beginning to publishing Large Events.

MOTION: Witkop/Byron to increase the Large Event Permit Fee to \$250.00 as proposed.

PASSED UNAN

10. Clarification of Conflict of Interest

Byron asked Clerk to make copies of the letter from August 10th to Peter Correia from Joe Quandt. She would like to have the board have it ahead of time so they can review and discuss. This letter was never distributed or made part of the public record tonight. She would like a conversation with Township Attorney on clarifying conflict of interest and when/how it applies. She would also like the Board to pay attention to what happened here and how to take another look at the Township Ethics statement. **Witkop** Seems to her that a Board member was singled out and she does not like it. This is a poor way of handling it. The board needs to have a discussion when something like this comes up and whether a board member should recuse themselves. **Rosi** Byron was not given the opportunity to respond as a member of the audience.

11. March 18, 2016 Minutes

Margaret Achorn, 11284 Peninsula Drive read a memo regarding notes she took at the March 28, 2016 regarding the discussion on recusing on the matter of "The 81". A copy of that memo appears at the end of these minutes.

Wendling The reason that Mr. Correia called to see if he should recuse himself is that subsequent to the August 11th meeting the Kahn issue came up. Mr. Correia then hired Joseph Quandt who is the same attorney who represented the developer on "The 81". I informed Correia that if you were coming up on a vote on an administrative portion of the Ordinance it poses a conflict of interest. Goes back to Judges Rodgers ruling that even an image of impropriety is a problem. He was not aware that Mr. Quandt's letter was

not distributed to the board members until tonight. The reason you could vote on the other issue is that it did not involve the administration of your Zoning Ordinance.

Witkop was it discussed with the Supervisor what this selection of that attorney would mean to future votes on "The 81" *Wendling* he was told it was a problem. *Wendling* was surprised Board members did not have that letter. **Hoffman** stated that the letter was only sent to the supervisor.

MOTION: Witkop/Weatherholt to approve the minutes of March 28, 2016 as submitted.

MOTION PASSED (4/2 Byron & Rosi)

Rosi questioned how Margaret Acorn's comments would be handled. **Hoffman** reviewed direction of minutes and would like to have a discussion with the board and will get direction from the MTA.

12. Correspondence on Safe Boat

Margaret Achorn, 11284 Peninsula Drive brought attention to the memos regarding the Safe Boat. **Hoffman** they would be added to the meeting where they discuss the Safe Boat.

Citizen Comments

Rick Schaffer, 999 Beautiful Shores questioned the advice given by the Township Attorney relative to the Kuhn situation. Would like the Township to evaluate the attorneys used. Also when was the last time the Assessor made a stamped Assessors map with an overlay. **Hoffman** you are welcome to stop into the office and talk to her.

Nancy Kahn, 14890 Shipman Road gave an update on the information that is with the prosecutor's office. Believes the Township Attorney buried information. She then handed out packets to the Town Board including an Assessors map with an attached photo. States that the photo is incorrect and is actually a county tax map. Believes that someone fixed up photo to show additional land to capture an additional .8 acres at the end of Shipman road. Believes each board was stonewalled and disturbed that it was not looked into. You really have the responsibility to look into this.

Sally Ackerly, Township Assessor thinks this might be a good opportunity for the board to ask me any questions. It is unfortunate that the ZBA did not act on that matter because of the time frame. There was an opportunity for the petitioner to appeal the decision but that did not happen. The assessor map was never used in the processing of this land division. It was created for Mrs. Kahn. It was a courtesy map. *Ackerly* has been eager to share the information and no one has come in to inquire. **Byron** where does the acreage stand now? *Ackerly* she would calculate to the waters edge. **Weatherholt** The land changes all the time. This was done 4 years ago. **Witkop** was this computed to the waters edge. *Ackerly* Yes. **Rosi** Cannot understand using something that fluctuates by day as a standard for what a land division can look like. *Ackerly* This is a very unique property that flirts with the edge. If the public has questions or concerns she is always happy to make documents available.

Joann Westfall, 12414 Center Road would like to make comment about the sketchiness of the Township Board minutes. Feels that not including everything in the minutes seems to be more troublesome then ever before. Questions why we cannot afford to keep tapes and CDs and tapes of every meeting held. Should be part of the public record.

William Kahn, no address given, gave figures on additional land needed to capture additional acreage. The original survey was 19.2 acres. Ordinance indicates that easement not be taken into account. This Board has abdicated their responsibility to make a decision and now it is in the prosecutor's hands.

Jim Komendera, 4168 Rocky Shore, Long before the 81 vote Mr. Correia and Mr. Quandt were in business together and does this not count as a conflict of interest. In Correia recused and Byron was not forced out of the vote "81" would not have passed. Also nothing was said about Fire Board resigning as a whole. Must be some issues that would cause them to quit as a whole. Appreciates all hard work done being done by the Town Board.

Dan Drew, 3833 Smokey Cove Drive resident and Sergeant with the State Police as a Fire Investigator. Concerned about the Federal Grant and the sale of the safe boat hindering future grant monies.

Corey Reamer, 3566 Thistledew Fire Department, Fire Board and Town Board all accepted the grant to purchase the Safe Boat. We need to work on manpower so we have the people to operate it

Board Comments

Witkop on 3/28 asked for videotaping meetings. Glad that packets are on line for citizens to review. There are reasons why we are careful what we put into the minutes. There can be different interpretations and because it is said at a public meeting does not make it true.

Hoffman Bob Wilkinson is getting a couple of foresters in to look at the tree in Bohemian Cemetery. Also some misinformation I have heard is that with the resignation of the Fire Board there is no one to watching over our department and our Township. According to the Standard Operating Procedures adopted by the fire department on October 1, 2008 our assistant chief assumes the duties of the Chief. We do not have a Fire Board but we do have a great Fire Department watching over us. **Avery** Rittenhouse has stepped up before. This is nothing new to him.

Wendling would like to clarify that the only correspondence from our office to Mr. Cooney was the one letter from Bryan Graham that Graham wrote after Mr. Cooney sent his letter out in the middle of January. There has been no additional materials or correspondence that he is aware of between his office and Mr. Cooney. And as he stated in a memo on 3/23 and on the record four months ago that the Township is free to get a second opinion if they would like to. Follow-ups were just two phone calls

Avery We all know that there is an election coming up and the politics that will play out in these meetings are interesting.

MOTION: Avery/Witkop to adjourn at 9:23 pm.

PASSED UNAN

Respectfully Submitted
Mary Ann Abbott, Recording Secretary.

April 12, 2016

Margaret Achorn
11284 Peninsula Drive
Traverse City, MI 49686

To: Peninsula Township Board

Regarding: Minutes of March 28, 2016 Special Year End Budget Meeting

I was in attendance for the entire meeting held in the Conference Room of the Peninsula Township Hall.

Under 9. Board Comments – "Byron will contact Wendling regarding recusing on "The 81"."

The notes I took regarding that portion of the meeting disclosed additional information that was not included in the Township Clerk's written report.

The following is from the notes I took regarding the discussion on "recusing":

Jill Byron disclosed that a day or two before that meeting on "The 81", Pete Correia, Township Supervisor, contacted her and told her to contact Peter Wendling, the Peninsula Township Attorney. She said that there was a 26-page letter from Mr. Quandt, Attorney, documenting her business ethics and requesting that she recuse herself from discussions and voting on the "The 81" issue. She stated that it was her decision to recuse herself, but that she felt that she was forced out.

She also added that she was not given good advice from Wendling in that she was not told that she could speak under "Citizen Comment" and thus "took away her right to speak as a resident."

She said that, at a later date, Wendling gave her permission to speak and vote at the March 15, 2016 Township Board Meeting with regard to Item 5 -- the Septage resolution for the 81 Development PUD.

Wendy Witkop twice questioned why the rest of the Board was not told about this before the discussions and vote.

Also at the same March 28, 2016 Township Board Meeting, during Board Comments, Pete Correia said that Wendling now suggests to him (Correia) to recuse himself from further issues on "The 81" because of the public comments made at the March 15, 2016 Board Meeting which cast a possible public perception of an inappropriate relationship with Mr. Quandt.

None of these details were included in the Township Clerk's written report of the March 28, 2016 Township Board Meeting.

As a concerned citizen, I request that the referenced 26-page letter from Mr. Quandt to Jill Byron be put into the public record.

Peninsula Township Town Board
Special Meeting
April 18, 2016
9:00 AM

Open Session of Meeting called to order at 9:50 a.m. from previous closed meeting.

Present: Hoffman, Chair; Avery; Weatherholt; Witkop; Byron; Rosi. Also present Mary Ann Abbott, Recording Secretary

Absent: Correia

Business

1. Conference Call with Attorney – to discuss labor negotiation and attorney opinion – Closed Session

Return to open session of meeting

Hoffman announced that the Board would be combining Business items #2, #3 and #4 into one and for the purpose of planning they would like to collect information but would not be making a decision. This Board would like to have a public hearing in the future concerning these issues. The Fire Department voted last week to form a union.

Weatherholt We can address the Fire Board, but we are not going to make a decision until we get a permanent chief in place.

Byron With the fire Board we will wait to discuss until we get a permanent chief which could be anywhere from two weeks to 6 months. We can collect information but we are not going to make a decision. We have to have a signed contract before we proceed on these issues. On the Fire Department ALS/Staffing /Buildings we can continue to discuss with the previous appointed committee which was David, Pete and Wendy (who may have a conflict). With the Safe Boat we are not going to decide on keeping or selling until we have the replacement chief in place.

Hoffman Through the Standard Operating Procedures we already have the Acting Chief, who is Randy Rittenhouse who has been our acting chief for many years.

MOTION: Weatherholt/Byron that Randy Rittenhouse will be the Acting Fire Chief at this time.

Roll Call Vote: Hoffman -Yes; Avery-Yes; Weatherholt-Yes; Witkop-Abstain; Byron-Yes; Rosi-Yes

MOTION PASSES 5/1 ABSTAIN

Weatherholt The people in the audience should know that the Fire Department voted to go Union and that process according to our Attorney can take 6 months to a year. Our hands are tied a little as far as what we can decide for the Fire Department right now.

2. Fire Board

Tabled

3. Fire Department ALS/Staffing/Buildings

Tabled

4. Safe Boat

Tabled

5. Ambulance Chassis

Randy Rittenhouse, Acting Fire Chief stated that the Ambulance Chassis was put up for sale for a minimum bid of \$14,700.00. There were no offers at that price. He asks that the Fire Department be allowed to reduce the minimum bid to \$10,000.00. They will advertise it in the Record Eagle, Craig's List as well as move the Chassis to Station 2 where it may be more visible.

MOTION: Weatherholt/Rosi to allow Randy Rittenhouse, Acting Fire Chief to use his discretion to make a minimum bid for the ambulance chassis (sealed bid).

PASSED UNAN

Citizen Comments

Nikki Sobkowski, no address given, commented on Trustee Avery's comments at the last meeting with a statement on political power within government. She stated that is what our democracy is; a system where power is vested in the people through a system of elected representatives chosen by the majority of its members to represent them.

Randy Rittenhouse, Acting Fire Chief would like to say that we have always had great support from the Town Board. Would like to take a moment to thank every one from the local community and the Town Board for the support.

John Snow, Bluff Road had been a volunteer firefighter and EMT for Peninsula Township for 9 years. A few years ago there was a decision made that they did not feel the chief could run the department. The Fire Board was then appointed. The Fire Chief was let go and eliminate the volunteer firefighters. Our coverage is weak. Would like to see it go back to a volunteer fire department composed of our citizens serving our neighbors. The alternatives are expensive. Would like to see Rich VanderMay to come back as Chief.

Ann Griffiths, 14548 Bluff dismayed at the fact that we are not going to do anything until the union issue is decided. Can we not deal with the ALS question or the building issue? Why do we have to call a halt to these important issues? We need to continue to move forward. We as a community need services.

David Taft, Neatawanta Road, Thank you for being open to listen to us today and talk about the Fire Board issues. Would like to have made available the 2015 Fiscal year and the Fiscal 2016 Budget and actual expenses so we can educate ourselves. Another item to mention is that it is important that you might want to appoint some citizen volunteer as many of us have had experience with hiring people and are pretty effective as interviewers or evaluators. You will get a good chief if you bring a lot of people into being involved in hiring that person, as they will see a concerned community.

Margaret Achorn, 11284 Peninsula Drive would like to let people in the room know that now on the website for the township under Agenda there is a "packet" where you can find additional information that the town board uses in their deliberation not only the budget information but all the correspondence that will help educate you further.

Nancy Heller, 3091 Blue Water Road, attempts to attend all board meetings. Does her heart good to see all the people today, as normally there are only 2-6 people. Meeting tonight at 5:30 for the Peninsula Township Zoning Ordinance draft. Would really like to see you turn out. The Planning Commission and the Town Board are making every effort to get citizen involvement. In order to include residents you need to attend these meeting. There is a lot of information on the website. Please pass the word and come out to these meetings.

Board Comments

Byron We can continue to work on the Fire Department but has been suggested that we do not put them in place until the Chief is selected as it would not be fair to the new person. There is a committee to continue to work on that. There is another Committee of Monica, David and Jill to work on the new contract with the Fire Fighters and the Attorney.

Witkop asked for clarification from David Taft on what he was not finding on the website. **Hoffman** Audit is not scheduled until third week in May. Just stop into office and she will get you what you need.

Weatherholt Since last Fire Chief left we normally have 4 full time people Can we add another Full Time person? We need to talk about that in the future.

Rosi Now we have two members of the community that sit on the Fire Board. We heard from the Township attorney that they can not make any decisions since there is not a quorum. So that is hanging out there also. Do we leave as is and not appoint.

Hoffman told to leave it as is.

Hoffman At the next Town Board meeting we will schedule a public hearing. I know that some of the audience have emailed us so please continue to do that.

MOTION: Avery/Witkop to adjourn AT 10:19 a.m.

PASSED UNAN

Respectfully Submitted by Mary Ann Abbott, Recording Secretary.

SPECIAL JOINT TOWNSHIP BOARD & PLANNING COMMISSION MEETING
SPECIAL PLANNING COMMISSION MEETING
April 18, 2016
5:30 PM

Meeting called to order at 5:30 p.m.

Present: Town Board: **Rosi; Witkop; Weatherholt; Hoffman; Byron; Avery;**

Planning Commission: **Serocki; Hornberger; Leak, Chair; Couture; Peters; Wunsch**

Also present were **Claire Schoolmaster**, Planning and Zoning Coordinator; **Michelle Reardon**, Director of Planning and Zoning and **Mary Ann Abbott**, Recording Secretary

Absent: Correia (excused)

Approve Agenda:

MOTION: Serocki/Peters to approve agenda.

PASSED UNAN

Brief Citizen Comments – for items not on the Agenda

Britt Eaton, 1465 Nehtawanta wanted to refresh everyone's memory that there was an item scheduled on the agenda three meetings ago that dealt with the Project 81 and what Judge Rodgers' said to bring before the Township and citizen's to resolve. That agenda was changed and the item that did appear dealt with the sewer system and the bond. We need to make sure that that Project 81 get's back on the agenda and addressed as Judge Rodgers suggested. **Leak** believes that the Planning Commission has heard this matter and it has been referred to the Town Board. *Reardon* Scheduled for May 10th Town Board meeting.

Conflict of Interest

Rosi asked the question at the last meeting if she (Rosi) had a conflict of interest regarding the division regarding the property that their three daughters have. When it comes up in the conversation tonight she will recuse herself from this one issue and speak as a member of the audience.

Hoffman we had a request from a Town Board meeting. A Joint meeting will be for all boards to attend to discuss conflict of interest, social media and code of ethics.

Consent Agenda for Planning Commission

Any member of the Board, staff, or the public may ask that any item on the Consent Agenda be removed and placed elsewhere on the agenda for full discussion.

1. Reports and Announcements (as provided)
2. Correspondence (as provided)
3. Meeting Minutes

March 21, 2016 5:30 PM Special Meeting and 7:00 PM Regular Meeting (recommend approval)

Serocki Corrections to March 21 meeting at 5:30 under also present: should read Claire rather than Chair. At 7:00 page two it should read: It is the intent ~~what~~ that. **Peters** submitted corrections to the secretary that will include use of the word assumptions rather than presumptions on page 2 Master Plan Review.

Avery was present at the 5:30 portion of the meeting as well as the 7:00 p.m.

MOTION: Peters/Serocki to approve minutes with corrections.

PASSED UNAN

Rosi did prepare a Report to the Planning Commission from the Town Board. It did not get in this packet and so Rosi read the report.

Wunsch did not have a report as the Zoning Board did not meet.

Business

Joint Township Board & Planning Commission

1. Peninsula Township Zoning Ordinance DRAFT Articles 1-7 (Discussion)

Reardon provided introduction. This is the bulk of the ordinance and Patrick Sloan is present to assist in the review. Staff has reviewed twice. It has been on the website for the public. This document is currently in front of the Attorney who will provide written comment.

Patrick Sloan, McKenna On March 21st the Planning Commission reviewed the outline of the document and made comments.

Began review with the cover letter and with explanation of Article One: Title, Purpose and Scope. No discussion on this Article.

Article Two: Definitions

* Accessory Building or Accessory Structure

Discussion by boards on the reason that water could not be allowed in accessory buildings. Also felt not unusual to have stool and sink in accessory garages. Concerns about Granny Flats. Enforcement of no two dwellings on a lot. Thoughts on bathroom on first level only in accessory building. Needs to be spelled out so there is no confusion. Staff will relook at this item.

*Adult Foster Care, Family Home and Adult Foster Care, Small group home

Sloan Definitions regulated by State Law

*Basement

Illustration to be added.

*Building Height

Skipped to page 2-4 and discussion on how to measure the definition of height. Consensus of Board is that buildings be measured to the peak. Do we present the Peninsula to the public from the water? Staff needs to talk to attorney and see what this does to non-Conformities. Further discussion on what 2 ½ stories would consist of and no more than 35 feet to peak. Board would like to discuss this again at a future date. McKenna will supply other options of measuring. Sloan feels that this will guide the board on the basement issue as will.

*Bed and Breakfast

Updated to be consistent with the Amendment #190. Has not been seen by the Town Board. Current recommendation is as written in the Zoning Ordinance. **Hoffman** is very opposed to increase to 5 rooms and events such as dining in the vines. **Byron** does not feel that board has not had enough public input from opposing public. *Reardon* would like to have Public Hearing on Amendment #190.

Both Boards would like to hold additional meetings to review the Zoning Ordinance Review. Consensus of the Board is to meet again on April 26th, May 3rd and May 9th from 6:00-8:00 pm.

Reardon An Ordinance is living document and we should expect to have changes. It must be adopted to be enforced.

* Boat Livery

No additional discussion

*Building Elevation or Building Width

Reardon Building has to be 24' along all sides. More discussion wanted on this point

MOTION: Byron/Weatherholt to adjourn Town Board Session of the meeting at 7:16 p.m.

PASSED UNAN

Planning Commission Only:

1. Zoning Ordinance Amendment #190 (Discussion)

MOTION: Couture/Wunsch to recuse Rosi from this agenda item.

Peninsula Township Special Joint Meeting

2

Town Board & Planning Commission

April 18, 2016

PASSED UNAN

Reardon in 2013 the boards talked about private roads. The decision was to force improvement when there was a definite need. The property owner would be responsible for this update to the roads. Now we may need to drop this from Amendment 190 as one single split will force improvement, and this was not the direction the boards originally wanted to go.

Leak Who is responsible to look at these frontage roads? Large-scale developments are looked at by the Fire Department. Individual homes are not reviewed, and now if the road meets right of way requirements the road can continue to be used.

Peters would like to hear of the experience that Board member Rosi has run into.

Rosi(as member of the audience) has 450 feet with a heavily wooded lot of about 11 acres and a cabin. They have deeded the land to their 3 daughters. There are deed restrictions and road maintenance agreements. The property is remote and to require an engineered road for ¾ mile is unusual, and there is no interest by the neighbors in having an improved road. There may be other properties unique such as this.

Reardon Right now if the right of ways existed and has been used and it meets our Right of Way requirement it can be used. This band-aid amendment is giving us more unintended consequences that we expected.

Consensus of the Planning Commission is to not move forward with this language as part of Amendment 190 section 7.10.11

MOTION: Couture/Wunsch to not approve with this section of Amendment #190.

PASSED UNAN (Rosi recused)

MOTION: Couture/Wunsch to un-recuse Rosi and welcome her back to the meeting.

PASSED UNAN (Rosi recused)

2. Master Plan 5-year review (Discussion and potential decision)

Reardon pointed out the data that is in the packet for use in review of the 5-year plan. Asked Planning Commission to look at Page 3 of the 5 -year plan review and the 12 questions to see if we need to make changes to the Master Plan. Great spot to start discussion and facts are still being gathered.

Peters offered to meet with others and go through data to see what changes have occurred since the last Master Plan.

Discussion continued on areas that might need attention. *Reardon* Really need to determine that our Master Plan is still the guiding document. That is the reason behind this exercise.

Suggestions led to meeting that will be scheduled and published so that anyone can come. First meeting will be April 28th at 8:00 a.m. Only agenda item will be Master Plan.

3. SUP 32 2nd Amendment, Bowers Harbor Vineyard (recommend table)

4. SUP 125, BHV Dining in the Vines (recommend table)

Reardon still at the table talking to us. Recommend no action at this time.

MOTION: Hornberger/Wunsch to untable Business items #3 and #4 regarding Bowers Harbor Vineyard.

PASSED UNAN

MOTION: Hornberer/Wunsch to table Business items #3 and #4 regarding Bowers Harbor Vineyard to the next regular meeting.

PASSED UNAN

Citizen Comments

Britt Eaton, 1465 Neatawanta would like to volunteer for citizen input to the Master Plan. Also there are local publications that could help get information to the area citizens.

David Tuttle, 13129 Bluff is hearing positive things from this board. Urges meetings to be set at time so that Planning Commission can get input from younger people. They are the future of this Peninsula.

Nancy Heller, 3091 Blue Water Road is disappointed especially in the first session. Agrees that all boards and commission should be heard. McKenna tasked to complete in one year. Strongly suggests that you hear what is said, take a vote and move on.

Margaret Achorn, 11284 Peninsula Drive regarding diagram of measuring height. This is not always waterfront. Those definitions are very important. You must clearly define. Critical later on.

Board Comments

Peters Bonobo planted pumpkins as their vines. Do they need to have wine? *Reardon* They have to process on site in order to have guest activities. They have indicated that they will provide proof. **Serocki** not approved for current activities
Reardon No

MOTION: Hornberger/Wunsch to adjourn at 8:19 p.m.

Respectfully submitted by Mary Ann Abbott, Recording Secretary

PENINSULA TOWNSHIP
2nd Regular Township Board Meeting
April 25, 2016

Meeting called to order at 9:00 a.m.

Roll Call

Present: Rosi (present until approximately 9:20am), Weatherholt, Hoffman, Witkop, and Byron

Absent: Avery & Correia (excused)

Also Present: **Peter Wendling**, Township Attorney; **Michelle Reardon**, Director of Planning and Zoning, and **Deb Hamilton**, Recording Secretary

MOTION: Byron/Weatherholt to appoint Hoffman as Chair. **MOTION PASSED**

Approve Agenda

Hoffman asked to move Business Item #3 to #1.

MOTION: Byron/Weatherholt to approve the agenda as amended. **MOTION PASSED**

Brief Citizen Comments – for items not on the Agenda

None

Conflict of Interest

Weatherholt said he has a conflict on Business Item #2. His farm is next in line for PDR. **Hoffman** said she may have conflict because her farm is further down the list.

Business

Request for Kahn Second Opinion – Verbal

Hoffman asked how the Board wants to proceed. **Byron** said she would like to get a second opinion. It will be prudent for the Township to resolve the concern. **Witkop** asked if the second opinion is something was not handled properly what are the options at that point. **Wendling** said it could be done through a stipulated order with the prosecutor's office. The prosecutor attorney has an obligation under the Land Division Act to do enforcement through some kind of consent order. The Township has no recourse under the current ordinance. The time periods for appeals have passed. The prosecuting attorney has the ultimate authority to enforce the Land Division Act. **Hoffman** asked how the Board will pick the attorney for the second opinion. There was Board consensus to have Hoffman and Byron find attorneys that have high recommendation in Land Division, ask the Board if they have a conflict with attorneys on list and ask Mrs. Kahn if she knows any of the attorneys on the list and draw a name from the hat.

MOTION: Hoffman/Rosi to go out for 2nd opinion on the Kahn request.

Roll Call Vote: Rosi-yes, Witkop-yes, Weatherholt-yes, Hoffman-yes and Byron-yes. **PASSED UNAN**

Witkop said reach out to other Townships for information on land division attorneys. **Rosi** said reach out to attorneys with experience with land division on the Great Lakes.

Rosi left the Board approximately 9:20am (excused).

Bowers Harbor Vineyards Enforcement Discussion

Reardon reviewed her memo. **Wendling** said this has been an ongoing violation for years that has not been brought to the Township's attention until approximately a year ago. Bowers Harbor Vineyards

(BHV) received a benefit by not having enforcement occur. If the violation is ignored the Township could lose that portion of the ordinance. **Byron** said she does not see why there cannot an adjustment within the winery ordinance structure that says grow x number of grapes on Old Mission Peninsula and have one of the other wineries on Old Mission Peninsula process the fruit. **Reardon** said Staff asked the Township Board if they want to craft a new ordinance for an existing winery and no action was taken by the Township Board. Planning and Zoning has to enforce the ordinance and this is where we have come after exploring opportunities. If the pleasure of the Board is now to enter into a discussion about drafting an ordinance for this specific use then Staff is open to that. **Wendling** said the Board still has the option to accommodate this use. The Board can make a motion to request the Planning Commission and Planning staff look at the ordinance to accommodate this type of use rather than take enforcement action. **Weatherholt** said the simplest way it to take the seasonal portion of it. **Witkop** asked how a roadside stand became a SUP for BHV. **Reardon** explained the history. **Witkop** said it seems to Witkop that BHV has the benefit of selling retail but do not meet any of the other criteria the Township puts on any of the other farm processing facilities. **Reardon** said at the time BHV received approvals the Township's wine ordinances were in draft process or non-existent. **Byron** asked if BHV is processing on the Peninsula with one of the other wineries. **Reardon** said that would be a question for the owner. **Witkop** asked why BHV cannot be a farm processing facility. **Reardon** said that is a question of the owner. **Reardon** reviewed the requirements for a farm processing facility. **Byron** asked why every winery has to process their own. Why not have a category that needs to be grown and processed on the Peninsula. **Witkop** said she does not want the Township writing ordinances to meet an applicant's criteria. It does not work that way. Witkop could support a minor adjustment. **Hoffman** said she is concerned opening up roadside stands ordinance. The SUP was signed by the owner's husband, who has since passed away, knowing what they could and could not do. They had a SUP but have worked into something different and are now not in compliance. Hoffman also disagrees on having an ordinance for one person. If this goes back to the Board need to know where the juice processed. **Reardon** said need to explore a possible new category of winery. There may be unintended consequences. **Wendling** said the enforcement window is narrowing. This has to be done by the next time BHV is out of compliance. **Byron** said makes more sense to bring BHV into the winery ordinance than it does to leave a winery in a seasonal use. **Reardon** said Staff will do the research. **Witkop** said a minor tweak as long as it is keeping agricultural use and benefit stays on the Peninsula. Having a reactionary ordinance because one person wants to do something they are not allowed to do is just wrong in principle. **Byron** asked *Linda Stegenga, Bowers Harbor Vineyards*, if processing locally. *Stegenga* said no. **Byron** asked could BHV make that kind of a change. *Stegenga* said probably not. Chateau Grand Traverse, Peninsula Cellars and Brys have grown their own businesses and now do not have room for BHV. BHV currently uses Left Foot Charley and French Road Cellars. **Byron** said there are two new wineries that do processing Mari Vineyards and Bonobo. Have you talked to them? *Stegenga* said they would not be a good fit for BHV. **Byron** said there is no reason to go through everything if the applicant is not going to look into processing here. **Hoffman** asked about processing at BHV. *Stegenga* said they would prefer not to and not sure where they would put it. **Witkop** asked why BHV does not want to process. *Stegenga* said it has been a good model using another processing plant for BHV production. Yes could figure out to do a processing plant someplace on the property. She is in the dark as to the best solution other than removing "seasonal" from their roadside stand. **Witkop** said cannot remove seasonal from BHV roadside stand without removing seasonal from all roadside stands. **Hoffman** asked if BHV were to comply with seasonal could BHV process outside of the Peninsula. **Reardon** said yes. There are minor changes to the SUP that need to be taken care of but cannot amend an SUP that is out of compliance. **Byron** said there are options available for the applicant and the applicant needs to do some serious thinking about complying with seasonal or change processing to fit into another category. The Board has a responsibility to look at the winery ordinance while the consultant is here to see if there is something within the winery ordinance to create a different operating model with not changing the intent of the amendment. *Stegenga* said she understands but the problem is finding

someone who has room to process. She said she has the full support of all the wineries on the Peninsula. **Witkop** said the bigger picture is if the Township amends the ordinance it affects everybody.

PDR Selection Committee Discussion

Hoffman said if Weatherholt recuses himself there will not be a quorum of the Board.

MOTION: Byron/Witkop to table to the May10, 2016 meeting. **MOTION PASSED**

Brining Contract

Hoffman said has received calls from residents on Ridgewood and Brinkman asking for better brine.

Weatherholt will find out options for brining.

MOTION: Byron/Witkop to table until the May10, 2016 meeting. **MOTION PASSED**

Create Fund 510 – Friends of the Lighthouse – Verbal

Hoffman said need motion to create a new fund. *Ellen Kerr, 14548 Bluff Rd., President of Mission Point Lighthouse Friends* said in 2013-14 Friends of the Lighthouse held a pancake breakfast with the idea that the money would go toward renovation and restoration of the lighthouse. The funds are being held by the Township. The Mission Point Lighthouse Friends is now a 501C3. Kerr requested that the funds be turned over to the Mission Point Lighthouse Friends group. **Hoffman** asked if funds were generated on Township property. *Kerr* said no.

MOTION: Byron/Witkop to transfer the funds to Mission Point Lighthouse Friends. **MOTION PASSED**

Peninsula Drive Special Assessment District

Hoffman said the Assessor and the Supervisor will work with the Road Commission to make recommendations back to the Township Board. **Byron** asked about the third WHERE AS “once the District is established, the Township will be responsible for the construction, improvements and maintenance of the improvement”. That seems like Township will be taking on a large financial burden. **Weatherholt** said the Township would contract with the County to do the maintenance. **Byron** said already give the County hundreds of thousands of dollars for road maintenance. A lot of this has to do with maintaining the culverts. **Witkop** said the Road Commission came to the Township before when the Drain Commissioner was starting these districts they told the Township the reason they could not solve the drainage problems was they needed to work outside of the road right-of-way. This looks like they are trying to put a special assessment in place that the Township will pay for within the road right-of-way. How does this solve that problem? **Wendling** said the property owners are voluntarily, through a petition, paying extra dollars for this project. Afterward hopefully the Road Commission would continue maintain the objects that are in the road right-of-way. **Hoffman** said that the Board has questions for Mr. Cook at the Road Commission before any recommendations can be made.

Citizen Comments

Anne Griffiths, 14548 Bluff Rd., concerned about the cost per house on Ridgewood and Brinkman for brining.

Nancy Kahn, 14890 Shipman Rd., said she handed out a survey of Correia’s parent parcel done since last meeting. Someone would have to verify what the surveyor’s conclusions are. If another attorney takes a look at this issue the Township may want to consult with that attorney about what to do with the Township Ordinances. The Township has already put in the PUD ordinance that land below the Ordinary High Water Mark cannot be considered when determining the amount of land they have to divide into parcels. The Township may want to put that in Land Division Act to make it clearer at this point. From a legal perspective she thinks it is already there because the Land division Act says have to have a survey under Act 132. Act 132 states when next to the Great Lakes go by the survey line. **Wendling** said agrees the survey statute says that but case law came out since that time which may cause a takings problem. *Kahn* said there are statutes of limitations. It may be that a suit will be filed and often people will react adversarial after that point. It is helpful to continue to see if some common ground can be reached. **Witkop** asked Kahn if the survey she handed out

came from Mr. Correia. *Kahn* said securely, yes. **Witkop** asked who paid to have this survey done. **Hoffman** asked if both sheets came from Correia. *Kahn* said the survey on the back says Jesse Mitchell and surveyors' who did this was from Inland Seas. Kahn got the information from the prosecutor.

Joanne Westphal, 12414 Center Rd., asked if Ordinance 139 is the farm or food processing facility. **Reardon** said it is Ordinance Amendment 139 Farm Processing Facility. It is still part of Ordinance #2 which is the Zoning Ordinance. *Westphal* said that was the ordinance that was written by a committee of Peninsula Township residents shortly after the Ordinance 128 controversy in 2000 involving right to farm. **Reardon** said this is called the use by right winery in common terms but not tied to right to farm. *Westphal* said when that ordinance was written as an amendment she believes that it was a right to farm for all types of farm products. It was not exclusively tied to wineries. She is hearing in meetings that this is becoming a winery ordinance. It was a farm processing facility ordinance that allows farmers to process products on their own. She is having difficulty seeing why this is called a winery type facility. If other crops are excluded then they are being discriminated against. She is concerned that she may be discriminated against taking her farm products to finish product just like the winery people are doing on their farms. Also the PDR ordinance says on page 3 definitions - permitted use means any use contained within the development rights easement essential to the farming operation or which does not alter the open space character of the land. There seems to be a conflict with one of the wineries that is definitely on PDR land. There have been major elevation changes out here on the peninsula. One of the easiest ways to block that is to change the ordinance to say the 35 foot height restriction is at the natural topography elevation where that front door is placed.

Board Comments

Weatherholt said he contacted Kelly Clark about the donation to the Old Mission School. Clark had no more information.

Hoffman said Ordinance 139 includes all farm processing. Also there is a big difference between road side stands and special use permits. Hoffman updated the Board on the tree in Bohemian Cemetery.

Witkop said she is not aware that the Township has ever not applied Farm Processing Facility to someone processing outside of wine. Commonly use the term winery because almost all of the time it is wineries. It does apply to all farm processing. She is not aware that anyone has been precluded from falling under that category in the ordinance.

Adjournment

MOTION: Byron/Witkop to adjourn at 10:40 a.m. **MOTION PASSED**

Respectfully submitted by Deb Hamilton, Recording Secretary

These minutes stand to be approved at the next meeting scheduled for May 10, 2016

PENINSULA TOWNSHIP
Meeting of the Union Negotiations Committee
April 26, 2016
10:00 a.m.
Clerk's office

Meeting called to order at 10:00 a.m.

PRESENT: Hoffman, Weatherholt and Byron.

ABSENT: None

1. Business

1. Conference Call with Attorney - to discuss union negotiations – Closed Session

Closed Session Portion

Return to open session

2. Citizen Comments – None

8. Board Comments – None

Adjourned at 11:43 a.m.

Respectfully Submitted,
Monica A. Hoffman CMMC/CMC
Peninsula Township Clerk

Peninsula Township
Special Joint Township Board & Planning Commission Meeting
April 26, 2016 6:00- 8:00 p.m.

Meeting called to order at 6:00 p.m.

Present:

Town Board: **Avery; Byron; Hoffman; Correia-Chair; Weatherholt; Rosi**

Planning Commission: **Wunsch; Peters; Leak- Chair; Hornberger; Serocki**

Also present were Claire Schoolmaster, Planning & Zoning Coordinator; Michele Reardon, Director of Planning & Zoning, via Skype, Patrick J. Sloan, McKenna Associates and Mary Ann Abbott, Recording Secretary

Absent: Town Board: Witkop

Planning Commission: Couture

Approve Agenda

TOWN BOARD MOTION: Byron/Hoffman to approve the Agenda. PASSED UNAN

PLANNING COMMISSION MOTION: Hornberger/Serocki to approve the Agenda. PASSED UNAN

Brief Citizen Comments - for items not on the agenda

None

Conflict of Interest

Town Board: None

Planning Commission: None

Business

1. Peninsula Township Zoning Ordinance DRAFT (Discussion)

Reardon introduced Patrick Sloan via Skype to lead the discussion.

Sloan based on the previous meeting it was decided that it might be best to break out the information into chunks based on the major themes. Having three meetings. Tonight will be shoreline regulations; next week will be Agricultural and Ag Tourism Uses and the May 9th meeting to cover everything else and more major topics.

Definition of "Building Height"

Last week Building Height was a point of discussion. The consensus was that all heights should be measured to the peak regardless of the type of roof. But the Boards wanted some options on how to measure height on the waterfront. Discussion turned to McKenna letter of April 21, 2016 and the Definition of Building Heights. Two options were presented. Concerns of staff and boards were how to determine natural grade; requirements of a topographical survey before the permit; alterations of grade before the permit process; soil erosion; use of fill. There was a consensus on applying to all walkouts

Staff to do research on what GIS is available and revisit as we go further. Staff would also like to look at it from an enforcement standpoint, and see what it would do from a permit aspect. *Reardon* measurements will exclude chimneys but would like to look closer at cupola issue

Shoreline Overlay District

Sloan Section 3.12 Shoreline Overlay is a new district. In addition to new regulations it also has sections of the current Zoning Ordinance. Proposal is to split the Shoreline Overlay into two sub-districts: The Waterfront Sub-District where the setback would change to 60 feet from shoreline and the Upland Sub-District which would be 60-200 feet of the shoreline. Also would prefer vegetative cover in the area where possible with permit from a landscape architect.

Topics discussed under Waterfront sub-District.
Discussion continued on the purpose of vegetative cover and the types of cover.

Reardon Right now we do not allow clear-cutting but we also do not require that natural vegetation be restored. This will be a change from what we do now. We need to check with our attorney on what we can do about MDOT right of way. Proposed that residents will need to get a permit from the township in the future. Would make soil erosion aware that there is a new permitting process in Peninsula Township.

Reardon I like the idea of requiring a permit for earth movement in our Waterfront District. In that ordinary high we might want to be proactive about protecting our shoreline.

Consensus of the Board to keep this Waterfront Sub-district section.

Hoffman would like to talk about Permitted Storage (e). This is where we have the shore stations out all winter. There is a letter from the Heritage Road Committee on this. *Reardon* this is a rewrite of current ordinance that you can store on your property as long as not in the Road Right of way and not in the 15-foot side-yard setback. If in the Road right -of- way it would need to be moved. Enforcement was discussed. Ordinary high water does not matter for storage.

Discussion and consensus on use of wording of “ temporary seasonal storage” across the board in the waterfront district.

Topics discussed under the Upland Sub-District

Sloan The Upland Sub-District requires 30% tree canopy from the 60-200 foot. Could require to be certified by a Landscape Architect

Byron would like to back up to 3-7 (f) Dredging and Filing *Reardon* we require that if they bring in fill below the flood plain and above the ordinary high they receive approval from the ZBA and have soil erosion permit. Can we add that a civil engineer be required? A citation could be issued. **Hoffman** A permit may help.

Wunsh it might be helpful to provide a list of vegetation that would work. *Reardon* Asks Sloan to check with their Landscape architect. Could just be a list kept at the township. The only time this would trigger is if there is a permit pulled.

Additional topics discussed under Upland Sub-District

D) Hoists *Reardon* Current ordinances end at the Ordinary High Water and suggest that we end it at the water’s edge. Can be addressed by attorney.

Consensus is that board would like to think on this topic.

E) Decks, Storage and Walkways *Sloan* Reviewed this section. *Reardon* Walkway requirements came from ZBA to address people who need a way to get down to the their beach. No changes by boards.

F) Shared Waterfront *Sloan* Only significant change is for portable sanitary equipment. No changes by the boards.

G) Filing and Grading *Sloan* to find out if Army Corp of Engineers requires permit for seawall.

H) Removal of Shore Cover No changes by Board

I) Road Ends No common dockage. Staff to look into whose responsibility with Right of Way

Reardon. If everyone feels comfortable with Shoreline Overlay District we will see the changes and edits as we move forward.

Fences and Walls

Sloan New section on retaining walls but must be to protect or prevent structures from erosion damage and may bring in Township engineer.

Clear vision areas discussed. Maximum height privacy fence is listed as 6 feet. Prohibited materials are also listed.

Peters would like to see Retaining Walls listed under definitions. **Rosi** questioned structures and the flood plain areas

Reardon discussed that the concept of Privacy Fences is new to the Board. The ZBA felt that there was a problem with the zoning ordinance because of the number of variances they were seeing. The staff needs to research corner lots. Need to look at corner lots and protect ourselves against the right of way. *Reardon's* suggestion is to keep the height at 6 feet and see what comments come at the Public Hearing.

Board consensus to continue discussion on definitions at a future meeting.

Reardon Next meeting will cover Agricultural related uses and Articles 3-5. There is change in the Agricultural Related uses and this comes from the Ag Tier discussions.

Citizen Comments

Margaret Achorn, 11284 Peninsula Drive The Board continue to call the waterfront side of the house the front side of the house and you need to make sure you change the reference points. Docks and temporary storage - does this need to be 15' from the property line. *Reardon* Storage is required to not be in the side yard setback. Placement of usable dock should be at or near the center of the property

Jim Raphael, 14826 Mallard Drive A little confused about requirements for waterfront sub district. Wondering if the issue is erosion control why you are talking about tree canopy requirements as opposed to a broader definition of vegetation that will accomplish the goal. Second issue is how do you measure the up to 200 feet on a steep slope. Think of the unintended consequences of tying too many things together.

Britt Eaton, 1465 Neahtawanta is concerned with the trend of larger homes and the lack of mid sized homes. Urges the Boards to strengthen the ordinance to a maximum of 35' and 2 ½ stories.

Board Comments

Peters work session on Master Plan tomorrow morning at 8:00 am

MOTION:

Town Board: Byron/Hoffman to adjourn at 8:04 pm. **PASSED UNAN**

Planning Commission: Hornberger/Peters to adjourn at 8:04 pm. **PASSED UNAN**

Respectfully submitted by Mary Ann Abbott, Recording Secretary

Pay Code ID	Distribution	Sup Hours	Reg Hours	Reg Gross	Ot Hours	Ot Gross	Gross Check Date
10001 - ABBOTT, MARY ANN							
MEETING	101-101-818.000	2.00	0.00	240.00	0.00	0.00	240.00 04/29/2016
Employee Totals:		2.00	0.00	240.00	0.00	0.00	240.00
10005 - AKERKEY, SALLY A							
MEETING	101-209-703.000	1.00	0.00	90.00	0.00	0.00	90.00 04/29/2016
SALARY	S. AKERKEY	0.00	0.00	2,096.79	0.00	0.00	2,096.79 04/15/2016
SALARY	S. AKERKEY	0.00	0.00	2,240.88	0.00	0.00	2,240.88 04/29/2016
SICK/PERS	S. AKERKEY	0.00	11.40	342.21	0.00	0.00	342.21 04/15/2016
SICK/PERS	S. AKERKEY	0.00	6.60	198.12	0.00	0.00	198.12 04/29/2016
Employee Totals:		1.00	18.00	4,968.00	0.00	0.00	4,968.00
10009 - AVERY, MARY A							
SALARY	M. AVERY	0.00	0.00	960.32	0.00	0.00	960.32 04/15/2016
SALARY	M. AVERY	0.00	0.00	1,607.33	0.00	0.00	1,607.33 04/29/2016
VAC	M. AVERY	0.00	32.70	646.89	0.00	0.00	646.89 04/15/2016
Employee Totals:		0.00	32.70	3,214.54	0.00	0.00	3,214.54
10011 - AVERY, MARK D							
SALARY	101-101-702.000	0.00	0.00	224.51	0.00	0.00	224.51 04/15/2016
SALARY	101-101-702.000	0.00	0.00	224.63	0.00	0.00	224.63 04/29/2016
Employee Totals:		0.00	0.00	449.14	0.00	0.00	449.14
10018 - BALL, MICHAEL B							
STAWK	206-000-706.000	0.00	35.00	482.30	0.00	0.00	482.30 04/15/2016
STAWK	206-000-706.000	0.00	60.00	826.80	0.00	0.00	826.80 04/29/2016
Employee Totals:		0.00	95.00	1,309.10	0.00	0.00	1,309.10
10020 - BRYAN, MICHAEL G							
STAWK	206-000-706.000	0.00	60.00	826.80	0.00	0.00	826.80 04/15/2016
STAWK	206-000-706.000	0.00	24.00	330.72	0.00	0.00	330.72 04/29/2016
Employee Totals:		0.00	84.00	1,157.52	0.00	0.00	1,157.52
10026 - BLACKMER, GRANT J							
RUNS	206-000-706.000	6.00	0.00	78.00	0.00	0.00	78.00 04/15/2016
STAWK	206-000-706.000	0.00	70.00	910.00	0.00	0.00	910.00 04/15/2016
STAWK	206-000-706.000	0.00	132.00	1,716.00	0.00	0.00	1,716.00 04/29/2016
Employee Totals:		6.00	202.00	2,704.00	0.00	0.00	2,704.00

Employee Hours and Gross by GI Number Report
For Check Dates 04/01/2016 to 04/30/2016

Pay Code ID	Distribution	Sup Hours	Reg Hours	Reg Gross	Ot Hours	OT Gross	Gross	Check Date
10045 - BYRON, JILL C								
SALARY	101-101-702.000	0.00	0.00	224.51	0.00	0.00	224.51	04/15/2016
SALARY	101-101-703.000	0.00	0.00	224.63	0.00	0.00	224.63	04/29/2016
Employee Totals:		0.00	0.00	449.14	0.00	0.00	449.14	

10060 - CORREIA, PETER A								
INS	101-171-702.000	0.00	1.00	428.82	0.00	0.00	428.82	04/29/2016
SALARY	101-171-702.000	0.00	0.00	1,955.51	0.00	0.00	1,955.51	04/15/2016
SALARY	101-171-702.000	0.00	0.00	1,955.63	0.00	0.00	1,955.63	04/29/2016
Employee Totals:		0.00	1.00	4,339.96	0.00	0.00	4,339.96	

10147 - HAMILTON, DEBORAH A								
MEETING	206-106-818.010	1.00	0.00	120.00	0.00	0.00	120.00	04/15/2016
SALARY	D. HAMILTON	0.00	0.00	1,342.12	0.00	0.00	1,342.12	04/15/2016
SALARY	D. HAMILTON	0.00	0.00	1,488.63	0.00	0.00	1,488.63	04/29/2016
SICK/PERS	D. HAMILTON	0.00	11.40	225.52	0.00	0.00	225.52	04/15/2016
VAC	D. HAMILTON	0.00	2.00	39.57	0.00	0.00	39.57	04/15/2016
VAC	D. HAMILTON	0.00	6.00	118.70	0.00	0.00	118.70	04/29/2016
Employee Totals:		1.00	19.40	3,334.54	0.00	0.00	3,334.54	

10148 - HAINES, NICHOLAS								
OT	206-000-704.000	0.00	0.00	0.00	4.00	34.28	34.28	04/29/2016
STAWK	206-000-704.000	0.00	120.00	2,053.20	0.00	0.00	2,053.20	04/15/2016
STAWK	206-000-704.000	0.00	100.00	1,711.00	0.00	0.00	1,711.00	04/29/2016
VAC	206-000-704.000	0.00	21.00	359.31	0.00	0.00	359.31	04/29/2016
Employee Totals:		0.00	241.00	4,123.51	4.00	34.28	4,157.79	

10151 - HARVEY, ROBERT J								
STAWK	206-000-706.000	0.00	24.00	330.72	0.00	0.00	330.72	04/15/2016
Employee Totals:		0.00	24.00	330.72	0.00	0.00	330.72	

10165 - HOFFMAN, MONICA A								
SALARY	101-215-702.000	0.00	0.00	1,955.51	0.00	0.00	1,955.51	04/15/2016
SALARY	101-215-702.000	0.00	0.00	1,955.63	0.00	0.00	1,955.63	04/29/2016
Employee Totals:		0.00	0.00	3,911.14	0.00	0.00	3,911.14	

10263 - LIPE, CODY E								
STAWK	206-000-706.000	0.00	24.00	330.72	0.00	0.00	330.72	04/15/2016
STAWK	206-000-706.000	0.00	24.00	330.72	0.00	0.00	330.72	04/29/2016

Employee Hours and Gross by GL Number Report
For Check Dates 04/01/2016 to 04/30/2016

Pay Code ID	Distribution	Sup Hours	Reg Hours	Reg Gross	Ot Hours	Ot Gross	Gross Check Date

10270 - MERRILL, LEONARD M							
STAWK	206-000-707.000	0.00	13.50	186.03	0.00	0.00	04/15/2016
Employee Totals:		0.00	13.50	186.03	0.00	0.00	

10316 - PIEHL, SUSAN L							
HOURLY	101-173-704.000	0.00	68.50	1,315.89	0.00	0.00	04/15/2016
HOURLY	101-173-704.000	0.00	61.00	1,171.81	0.00	0.00	04/29/2016
Employee Totals:		0.00	129.50	2,487.70	0.00	0.00	

10321 - RITTENHOUSE, RANDY J							
OT	206-000-704.000	0.00	0.00	0.00	40.00	342.80	04/29/2016
RUNS	206-000-704.000	11.50	0.00	196.77	0.00	0.00	04/29/2016
STAWK	206-000-704.000	0.00	133.50	2,284.19	0.00	0.00	04/15/2016
STAWK	206-000-704.000	0.00	120.00	2,053.20	0.00	0.00	04/29/2016
Employee Totals:		11.50	253.50	4,534.16	40.00	342.80	04/29/2016

10326 - ROSI, PENELOPE S							
SALARY	101-101-702.000	0.00	0.00	224.51	0.00	0.00	04/15/2016
SALARY	101-101-703.000	0.00	0.00	224.63	0.00	0.00	04/29/2016
Employee Totals:		0.00	0.00	449.14	0.00	0.00	

10329 - SARBBER, KYLE C							
STAWK	206-000-706.000	0.00	60.00	826.80	0.00	0.00	04/15/2016
STAWK	206-000-706.000	0.00	60.00	826.80	0.00	0.00	04/29/2016
Employee Totals:		0.00	120.00	1,653.60	0.00	0.00	

10331 - SCHULTZ, GINGER M							
HOURLY	508-000-707.000	0.00	71.50	1,144.00	0.00	0.00	04/15/2016
HOURLY	508-000-707.000	0.00	60.00	960.00	0.00	0.00	04/29/2016
Employee Totals:		0.00	131.50	2,104.00	0.00	0.00	

10332 - SCHOOLMASTER, CLAIRE E							
MEETING	101-420-702.000	2.00	0.00	160.00	0.00	0.00	04/29/2016
SALARY	101-420-702.000	0.00	0.00	1,516.59	0.00	0.00	04/15/2016
SALARY	101-420-702.000	0.00	0.00	1,516.67	0.00	0.00	04/29/2016
Employee Totals:		2.00	0.00	3,193.26	0.00	0.00	04/29/2016

Employee Hours and Gross by GI Number Report
For Check Dates 04/01/2016 to 04/30/2016

Pay Code ID	Distribution	Sup Hours	Reg Hours	Reg Gross	Ot Hours	Ot Gross	Gross	Check Date
10334 - REARDON, MICHELLE L	MEETING	3.00	0.00	270.00	0.00	0.00	270.00	04/29/2016
	SALARY	0.00	0.00	2,309.88	0.00	0.00	2,309.88	04/15/2016
	SALARY	0.00	0.00	2,368.21	0.00	0.00	2,368.21	04/29/2016
	SICK/PERS	0.00	2.00	58.29	0.00	0.00	58.29	04/15/2016
	Employee Totals:	3.00	2.00	5,006.38	0.00	0.00	5,006.38	
10373 - STROM, BRENT J	OT	0.00	0.00	0.00	28.00	239.96	239.96	04/29/2016
	STAWK	0.00	0.00	2,258.52	0.00	0.00	2,258.52	04/15/2016
	STAWK	0.00	0.00	1,642.56	0.00	0.00	1,642.56	04/29/2016
	Employee Totals:	0.00	228.00	3,901.08	28.00	239.96	4,141.04	
10374 - STROM, RYAN J	STAWK	0.00	12.00	165.36	0.00	0.00	165.36	04/29/2016
	Employee Totals:	0.00	12.00	165.36	0.00	0.00	165.36	
10412 - VANDERMEY, THOMAS J	RUNS	1.00	0.00	13.00	0.00	0.00	13.00	04/15/2016
	Employee Totals:	1.00	0.00	13.00	0.00	0.00	13.00	
10417 - VANDER ROEST, LANDON C	RUNS	1.00	0.00	13.78	0.00	0.00	13.78	04/15/2016
	RUNS	2.00	0.00	27.56	0.00	0.00	27.56	04/29/2016
	STAWK	0.00	24.00	330.72	0.00	0.00	330.72	04/15/2016
	STAWK	0.00	15.00	206.70	0.00	0.00	206.70	04/29/2016
	Employee Totals:	3.00	39.00	578.76	0.00	0.00	578.76	
10428 - WALTERS, KATHRYN N	STAWK	0.00	24.00	330.72	0.00	0.00	330.72	04/15/2016
	STAWK	0.00	46.00	633.88	0.00	0.00	633.88	04/29/2016
	Employee Totals:	0.00	70.00	964.60	0.00	0.00	964.60	
10430 - WEATHERHOLT, DAVID K	SALARY	0.00	0.00	1,845.34	0.00	0.00	1,845.34	04/15/2016
	SALARY	0.00	0.00	1,845.42	0.00	0.00	1,845.42	04/29/2016
	Employee Totals:	0.00	0.00	3,690.76	0.00	0.00	3,690.76	

Employee Hours and Gross by GI Number Report
 For Check Dates 04/01/2016 to 04/30/2016

Pay Code ID	Distribution	Sup Hours	Reg Hours	Reg Gross	Ot Hours	OT Gross	Gross	Check Date
10439 - WITKOP, WENDY L								
SALARY	101-101-702.000	0.00	0.00	224.51	0.00	0.00	224.51	04/15/2016
SALARY	101-101-702.000	0.00	0.00	224.63	0.00	0.00	224.63	04/29/2016
Employee Totals:		0.00	0.00	449.14	0.00	0.00	449.14	
Grand Totals:		30.50	1,764.10	60,569.72	72.00	617.04	61,186.76	

Monica Hoffman

From: Judy Vajda <judy@hbagta.com>
Sent: Monday, April 25, 2016 2:48 PM
To: clerk@peninsulatownship.com
Subject: Parade of Homes Signage Placement Request

Hello Monica,

The 27th annual Parade of Homes is brought to the Grand Traverse area by the Home Builders Association of the Grand Traverse Area. Our goal is to create an opportunity for our builders, associated trades contractors and suppliers to showcase homes built in our wonderful community. I am writing to request permission to place our signature Arrow Signs (see attachment) along the Parade Route. Following is the requested information.

1. Parade of Homes dates? June 11th – June 19th, 2016
2. The signs be in place in the Township 2 days before the event and removed on the morning of the 20th.
3. The Home Builders Association of the Grand Traverse Area is responsible for the sign removal.
4. Number of signs in place: The Parade Home is located at 13330 Hedeem Drive, making for 2 different ways of getting to the home. There will be 2 signs heading out Peninsula, with 1 sign at the corner of Harbor Reach and 1 at Harbor Reach and Hedeem. For People coming down Center Road, I would like to place 2 signs heading out center, with 1 at the Seven Hills turn, 1 at the corner of Devils Dive Rd and 1 at Hedeem and Devils Dive. A total of 9 signs.
5. The sign size is 17.5 X 17.5 inches.

Please feel free to call me anytime!

Judy Vajda

Executive Officer

Home Builders Association of
the Grand Traverse Area, Inc.

judy@hbagta.com

Phone: 231-946-2305

Mobile: 231-633-6711

Fax: 231-946-1051



Monica Hoffman

From: Judy Vajda <judy@hbagta.com>
Sent: Monday, May 02, 2016 2:19 PM
To: Monica Hoffman
Subject: RE: Parade of Homes Signage Placement Request

Good day Monica,

In reference to the Parade of Homes directional signs, we now have a second home on the Peninsula. With this addition, I am requesting permission to add 1 sign at the corner of Peninsula and McKinley, 1 at the corner of McKinley and Westwind and 1 at the corner of Center and McKinley. The home address is 7291 Westwind Drive.

Thank you

Judy Vajda
Executive Officer
Home Builders Association of
the Grand Traverse Area, Inc.
judy@hbagta.com
Phone: 231-946-2305
Mobile: 231-633-6711
Fax: 231-946-1051

*2 homes
4th year!*



From: Monica Hoffman [mailto:clerk@peninsulatownship.com]
Sent: Monday, April 25, 2016 3:09 PM
To: Judy Vajda
Subject: RE: Parade of Homes Signage Placement Request

Judy,

Thanks...I will add this to the May 10th meeting.

Enjoy your day.

Monica A. Hoffman, CMMC/CMC
Peninsula Township Clerk
13235 Center Road
Traverse City MI 49686

Phone – 231-223-7321
Fax – 231-223-7117

Please note that this email message and any attachments may contain privileged or confidential information that is protected against use or disclosure under federal and state law. If you have received this in error, please advise by immediate reply. Any transmission to persons other than the intended recipient shall not constitute a waiver of any applicable privileges. Any unauthorized use, disclosure, copying or dissemination is strictly prohibited.

From: Judy Vajda [<mailto:judy@hbagta.com>]
Sent: Monday, April 25, 2016 2:48 PM
To: clerk@peninsulatownship.com
Subject: Parade of Homes Signage Placement Request

Hello Monica,

The 27th annual Parade of Homes is brought to the Grand Traverse area by the Home Builders Association of the Grand Traverse Area. Our goal is to create an opportunity for our builders, associated trades contractors and suppliers to showcase homes built in our wonderful community. I am writing to request permission to place our signature Arrow Signs (see attachment) along the Parade Route. Following is the requested information.

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Please feel free to call me anytime!

Judy Vajda

Executive Officer

Home Builders Association of
the Grand Traverse Area, Inc.

judy@hbagta.com

Phone: 231-946-2305

Mobile: 231-633-6711

Fax: 231-946-1051



1. Sponsor Information

Sponsor: Michelle Elliott, Business Development Manager
National Cherry Festival

Sponsor Address 250 E. Front St., Suite 301
& Contact Information: Traverse City, Michigan 49684
Ph. (231) 947-4230

2. Event Description-

2.1 Type of Event- The event is a footrace with four (4) distances offered; only the half marathon and the 15 k will occur within Peninsula Township. The sponsor estimates 1,450 persons across the sub-races that are occurring within the Township combined. This estimate is inclusive of race participants, staff, volunteers, and spectators. In 2015 there were 950 race participants for these two races.

2.2 Location- The half marathon will begin at Chateau Grand Traverse and head northwest through private property out to Peninsula Dr. The runners will proceed south on Peninsula Dr. to the City. The 15k will begin the NMC campus, proceed north on East Shore Rd, west on McKinley to Peninsula Dr. where the runners will proceed south into the City. Please see the enclosed course map for detailed route information. This course is not proposed to change from last year.

The half marathon start at Chateau Grand Traverse will require review and approval by the Township Board per the requirements of the governing Special Use Permit (SUP #66).

The half marathon race course will cross property owned by three (3) private property owners. The event sponsor has included permission letters from these land owners; these letters are included in your packet.

There are no requested road closures as part of this event and Grand Traverse County Road Commission has granted permission for the race to occur within the ROW of the county road system.

2.3 Date and Time- The race will occur on Saturday, July 9, 2016 beginning at 7 AM and concluding by 10:30 AM.

2.4 Notification to Township Residents- The applicant has included proofs of the two (2) required notices to residents within 300 feet of the event. The proofs are in compliance with the standards of the ordinance. The first postcard was mailed on Friday, April 22, 2016 in compliance with the requirements of the ordinance. Per the ordinance the second postcard will be mailed between June 9 and June 24, 2016 should the event be approved by the Township.

2.5 Signage- The submitted application includes a signage plan for the event. The applicant has worked with the Michigan Department of Transportation and the signage is intentionally cohesive in design. In addition to the signage plan submitted, the sponsor will be providing increased safety signage as requested by MDOT at the key intersections of Center Rd. and McKinley Rd. and Peninsula Dr. and McKinley Rd. As required last year, the sponsor will again be placing “No Trespassing” signage where appropriate and snow fencing to decrease the possibility of trespass on adjacent farm land.

2.6 Provision of Services- The applicant has submitted a narrative regarding the proposed mitigation of race impacts (i.e. noise, trespass) and the provision of emergency and necessary services on-site (i.e. first responders, sanitary facilities). This event is the 3rd year of the National Cherry Festival working with the Township. The sponsor has worked with the Township to ensure proper provisions of services are planned for the event. The pre-application meeting was held on April 11, and May 4, 2016 between the event sponsor, the Planning & Zoning Department, the Peninsula Fire Department, the Grand Traverse County Sheriff’s Office, Northflight, and Grand Traverse County Emergency Management.

2.7 Site Plan- A site plan for the half marathon start has been provided with the application submission;

The site plan indicates the following structures to be located on Chateau Grand Traverse property:

- porta-johns;
- waste receptacles;

The waste receptacles will be placed along the southern side and the porta-johns will be off the northeast corner of the winery structure at Chateau Grand Traverse. Participants and staff will be bussed to the start. The sponsor has indicated the bus drop off and turn around will be on the northern side of the winery structure. This configuration provides ample separation of vehicle and pedestrian uses.

Chateau Grand Traverse is governed by a Special Use Permit for a Winery-Chateau (SUP #66, amended by SUP #94). SUP #66 is the document governing uses allowed on site and Section A, V, D addresses outdoor functions. The Winery-Chateau is allowed to host outdoor functions that exceed 75 guests provided they meet standards as outlined in this Section. The SUP requires the functions occur under the covered porch and on the south lawn and the Township Board may require conditions pertaining to sanitary facilities, security, advertising on site, hours of the event, amplified music, and the placement of temporary structures.

The beginning of the course route, located at the Winery-Chateau is insulated by the winery acreage and is expected to have no impact on surrounding neighbors. The course route will travel through and adjacent to active agricultural land. The sponsor is proposing volunteers, fencing, and signage to protect against trespass where no access permissions are granted. Signage is specified in the application and will not include any advertising. Hours of the event are proposed to be 7 AM to 10:30 AM and there is no amplified music proposed as part of this event.

The Township Board may issue a special permit as outlined by this section of the SUP as part of this event permit application.

2.8 Parking- There is no participant/spectator designated parking in the Township. Race participants and spectators are brought to the course via buses provided by the race sponsor. Staff and volunteer parking will be allowed by permit only and is indicated on the site plan on the eastern side of the winery structure.

2.9 Insurance – The sponsor has provided certificates of insurance as it has been in the past for landowners subject to the race course, adjacent agricultural operations and Peninsula Township.

2.10 Multi-Year Approval –The ordinance language allows the Township Board to issue a permit for up to three consecutive years provided there are no changes to the application and no more than a ten percent (10%) increase in participants from initial approval.

3. Basis for Determination-

3.1 The Township Board shall find that each proposed event meets the following standards.

(a) That the sponsor can legally apply for an event permit.

The sponsor has received permission from Chateau Grand Traverse and three (3) additional private property owners. Based on these permissions, the sponsor is able to apply for an event permit.

(b) That the event meets the requirements of Peninsula Township for fire and police protection, water supply, sewage disposal or treatment, storm drainage and other public facilities and services.

The sponsor has been working with Peninsula Fire Department and the County Sheriff's office to determine the necessary staffing levels necessary for this event. There will be 3 Sheriff Deputies and 6 Peninsula Fire Department staff dedicated to the race on the day of the event. The additional staffing needs are paid for by the sponsor of the event.

There are a total of approximately twenty (20) porta-johns planned for the course where necessary. These temporary structures will be removed from the site(s) by the sponsor or its contractors by 11 AM on race day. This placement and removal plan will ensure the responsible disposal of all sewage waste by the sponsor.

Water will be supplied by the sponsor through a series of aid stations along the course route and at the start and finish lines (see the attached course map for locations). These stations will be removed from the course by 11 AM on race day.

There is no anticipated impact on storm drainage.

No township roads will be closed during this event. The Grand Traverse County Sheriff Department and event sponsor volunteers will be present at key intersections along the race course to manage participant/vehicle interactions throughout the event. The Grand Traverse County Road Commission has issued a right-of-way permit to allow the event to occur within the ROW of the county roads.

(c) That the event meets the standards of all other governmental agencies where applicable, and the approval of these agencies has been obtained or is assured.

No other governmental agency permissions are required.

(d) That the parking layout will not adversely affect the flow of traffic within the site, or to and from the adjacent streets.

On-site parking will be provided at Chateau Grand Traverse for event staff and volunteers. Parking will be by permit only and monitored by the event sponsor.

(e) That vehicular and pedestrian traffic within the site(s) and course, and in relation to streets and sidewalks serving the site, shall be safe and convenient.

The sponsor is proposing to separate vehicle and pedestrian traffic on the site which will increase safety for the pedestrian attendees.

(f) That outdoor storage of garbage is located so as to not be nuisance to the subject property or neighboring properties and a plan for removal upon completion of the event is outlined.

The sponsor has planned for waste disposal sites at the start area. The sponsor has also indicated that the National Cherry Festival will remove all trash at the conclusion of the event.

(g) That the sponsor(s) have an adequate plan to assure that all signage approved in conjunction with the event be removed within 24 hours of the end of the event.

The signage proposed is temporary in nature and should be removed by the sponsor in the "tear-down" process.

(h) That the event will not have a substantially negative impact on township or county resources or adjacent properties. When considering this standard, the Township Board shall consider the type, time of year, and impact of the proposed event as well as the impact and number of previously approved events in the same calendar year, and shall apply this standard in a manner to avoid overuse of township or county resources or to avoid repetitive, negative impacts on the same adjacent property or properties.

The sponsor estimates the event will bring 1,450 persons to the Township. The event will occur on private property and public roads. None of these public assets will be closed during the event. The necessary emergency responders will be secured by a contract and paid for by the sponsor. The sponsor will be utilizing 3 Sheriff's Deputies and 6 Peninsula Township Fire personnel for the event. The event will occur in mid-summer in connection with the National Cherry Festival.

In addition, the Township Board shall find adequate evidence that each event will:

(i) Not be hazardous to existing uses in the same general vicinity.

The participants will be running during the event. There is concern regarding the interaction of the running participants and the active agricultural lands adjacent to the course. The event sponsor has proposed to minimize this conflict through the use of clearly marked boundaries, "No Trespassing" signs and active volunteers along the course enforcing these boundaries to reduce the risk of trespass. Emergency responders will be on hand to address any hazardous situation that may arise.

(ii) Be served adequately by essential facilities and services such as highways, streets, police, fire protection, drainage structures, refuse disposal, and water and sewage facilities.

The proposed event will be accessed by and conducted on public roads. The sponsor will contact with the necessary emergency services and will provide the necessary refuse, water and sewage facilities.

(iii) Not create additional requirements at public cost for public facilities and services.

The sponsor will cover the costs for all additional services (i.e. waste disposal, fire and police) through contractual services.

Motion to Approve

Motion by _____, Seconded by _____, to approve the large event permit for the National Cherry Festival to conduct the Festival of Races on July 9, 2016. The Township Board finds the event meets the standards as defined in Section 2.9 (a) through (h) of Peninsula Township Ordinance No. 52 of 2014, Large Events Ordinance, subject to accompanying conditions:

Conditions:

1. A complete application as defined by the Large Events Ordinance shall be submitted to the Planning & Zoning Department annually.

Motion to Deny

Motion by _____, Seconded by _____, to deny the large event permit for the National Cherry Festival to conduct the Festival of Races on July 9, 2016 based on the following reasoning:

Reasoning:

Motion to Table

Motion by _____, Seconded by _____, to table the large event permit for the National Cherry Festival to conduct the Festival of Races on July 9, 2016 based on the following reasoning:

Motion to Approve

Motion by _____, Seconded by _____, to approve the special event permit for Chateau Grand Traverse to host the start of the half marathon course for the National Cherry Festival of Races on July 9, 2016. The Township Board finds the event meets the standards as defined in Section A, V, D of the governing SUP #66 based on the following findings:

Findings:

1. The event is likely to host approximately 1,000 persons between the hours of 7 AM to 11 AM with the bulk of the activity to cease by 8 AM on July 9, 2016.
2. The event shall be hosted on the south lawn as allowed by SUP #66.
3. The National Cherry Festival (Sponsor) shall provide the necessary sanitary facilities as outlined in the large event application.
4. No advertising for this event will occur on site.
5. Any additional security, if necessary, shall be provided by the Sponsor and Chateau Grand Traverse at no cost to the Township.
6. The event shall occur between the hours of 7 AM and 11 AM on July 9, 2016.
7. There shall be no amplified music as part of this event.
8. All temporary structures shall be placed on the south side of the winery structure and shall be removed by 11 AM the day of the event.

Motion to Deny

Motion by _____, Seconded by _____, to deny the special event permit for Chateau Grand Traverse to host the start of the half marathon course for the National Cherry Festival of Races on July 9, 2016. The Township Board finds the event meets the standards as defined in Section A, V, D of the governing SUP #66 based on the following reasoning:

Reasoning:

- 1.

Motion to Table

Motion by _____, Seconded by _____, to table the special event permit for Chateau Grand Traverse to host the start of the half marathon course for the National Cherry Festival of Races on July 9, 2016. The Township Board finds the event meets the standards as defined in Section A, V, D of the governing SUP #66 based on the following reasoning:

Reasoning:

- 1.



3/2/2016

Michelle Reardon
Peninsula Township
13235 Center Road
Traverse City, MI 49686

RE: Large Event Ordinance, Application for Permit, Festival of Races 2016

Thanks for taking the time to review our application for the 2016 Festival of Races. The National Cherry Festival and its participants have thoroughly enjoyed this event for over 40 years! I have enclosed all of the information per the requirements of the application. Please let me know if you have any questions. I look forward to working with you.

Cheers,

A handwritten signature in black ink that reads "Michelle Elliott". The signature is fluid and cursive, with the first and last names being clearly legible.

Michelle Elliott
Business Development Manager
231-947-4230
melliott@cherryfestival.org

Enclosures

2016 Application for Permit

- Meijer Festival of Races presented by Cherry Bay Orchards

1. Sponsor Contact Information

- Michelle Elliott, Business Development Manager, National Cherry Festival
- 250 E Front St., Suite 301, Traverse City, MI 49684
- 231-947-4230

2. Private Property Owners

- Chateau Grand Traverse
- Attn. Eddie O'Keefe
- Address: 12239 Center Road, Traverse City, MI 49686
- Phone: 231- 223-7355

- Island View Orchards
- Attn: John & Gloria Lyon
- Address: 2211 Island View Rd, Traverse City, Michigan 49686
- Phone: 231-709-0053

- John & Laura Keenan
- Address: 2299 Hawk Ridge Drive, Traverse City, Michigan 49686
- Phone: 231-631-9345

- Dan & Cameron Farley
- Address: 13008 Queen Ann S, Traverse City, Michigan, 49686
- Phone: 231-392-4176

3. Event Date & Hours

- July 9, 2016, 7:00 AM – 10:30 AM

4. Event Description

- The Meijer Festival of Races is a footrace that offers four different race distances: 5K, 10K, 15K, and the Chateau Grand Traverse Half Marathon. The races are held on the last day of the National Cherry Festival and typically draw around 3,500-4,000 runners total. Festival goers and local Traverse City residents have been enjoying this tradition for over 40 years. The 5K, 10K, and 15K start at NMC and finish on the Front Street just prior to the Cherry Royale Parade. The Half Marathon participants will park at NMC and ride shuttle buses to the start of the race at Chateau Grand Traverse. This will give runners the chance to experience our local agriculture first hand as they run through vineyards and cherry orchards. The half marathon runners will start at 7:00 AM and continue down Peninsula Drive where they eventually meet up with 15K runners and follow everyone to the finish on Front Street in front of thousands of people. The race concludes promptly at 10:30 AM to allow the parade to start.

5. Address or location and written statement from real property owner

- Chateau Grand Traverse
- Attn. Eddie O'Keefe
- Address: 12239 Center Road, Traverse City, MI 49686
- Letter: See Attached

- Island View Orchards
- Attn: John & Gloria Lyon
- Address: 2211 Island View Rd, Traverse City, Michigan 49686
- Letter: See attached

- John & Laura Keenan
- Address: 2299 Hawk Ridge Drive, Traverse City, Michigan 49686
- Phone: 231-631-9345
- Letter: See attached

- Dan & Cameron Farley
- Address: 13008 Queen Ann S, Traverse City, Michigan, 49686
- Phone: 231-392-4176
- Letter: See Attached

6. Estimate of the maximum number of people

- We estimate between 750 – 1000 people will participate in the Chateau Grand Traverse Half Marathon including volunteers and staff. We will cap the race at 1000 runners.
- We estimate between 350 – 450 people will participate in the Festival 15K (volunteers and staff will be placed on the NMC campus).
- In 2015 we had 950 people total participate in these races.

7. Copy of the notice Section 2.7

- Front of Post Card (see attached)
- Back of Postcard to be sent at least 15 days prior to the meeting of the Township Board (example)
See attached
- Back of Post Card to be sent at least 15 days but not 30 days prior to event (example)
See attached

8. Rendering of all signage

- We plan to work with Peninsula Township and MDOT to secure proper signage is placed throughout the course for 2016. Examples of past signage is listed below.
- 2016 MDOT Construction Permit:
 - Give em a Brake Signage (per MDOT in 2015): "Race in Progress" signs shall be located 800 yards North and South of Mckinley on M-37. The "Be Prepared to Stop" signs shall be located 400 yards North and South of Mckinley on M-37.
- Additional MDOT signage for 2016
 - Event Ahead & Be Prepared to Stop (example below) placed at Center Rd and McKinley Road, and Peninsula Drive and McKinley Road.



- Examples of NCF signage (most signs are 2"x3" Chloroplast signs on h-stakes).

Event	Location	Text
FOR	Course Mile Markers	Half Marathon 1-13, 15K 1-9
FOR	Chateau GT	RUNNERS ONLY
FOR	Chateau GT	DO NOT ENTER
FOR	Chateau GT	COURSE MAPS
FOR	Eastern	HALF MARATHON SHUTTLE - STRAIGHT ARROW

FOR	Chateau GT/Island View Orchards/Course	NO PARKING DAY OF EVENT
FOR	Chateau GT/Course	RIGHT ARROW
FOR	Chateau GT/Course	LEFT ARROW
FOR	Chateau GT/Course	STRAIGHT ARROW
FOR	Chateau GT/Course	HALF MARATHON BAG DROP OFF
FOR	Chateau GT/Course	CAUTION RUNNERS!
FOR	Course	Runners stay to the right! This road is not closed use caution and watch for cars.

9. A written statement that indicates how the National Cherry Festival plans to provide for the following:

A & B) The National Cherry Festival will work hand in hand with representatives of Peninsula Township, Peninsula Fire Department and the Grand Traverse County Sheriff's department to finalize a plan that works for all parties and ensures the safety of all participants. This includes police, fire, and medical services and emergency vehicles needed for the event. Sheriff's Department - 2 deputies & canine unit (they both will help with the start of the half and then made their way down to McKinley, dog will inspect all bags). North Flight: 4 Bike Medics. Peninsula Fire: 1 Ambulance. (Additional TCPD support throughout the finish of the race downtown Traverse City).

C & D) The National Cherry Festival plans to work with the township, local residents, and local businesses to secure the location for proper water stations, and porta johns throughout the course. See map below for 2015 locations. All temporary structures will be removed immediately after runners pass. All structures should be cleared by 11:00 AM. We also plan to recruit volunteers that we'll train and place throughout the course to ensure safety of all runners and respect to all Peninsula Township residents. Typically, 5-10 volunteers manage each water station. They are responsible for handing out water to runners, and cleaning up all trash from the runners around their water station and 1 mile north and south of their water station. At the beginning of the race we will have 20-30 volunteers to help manage the crowd and ensure safety of all runners. These volunteers will also assist in tear down and clean-up at the event start. A smaller group will follow the last runner and clean up any trash on the course route and pick up all signs and materials.

E) In regards to vehicle access and parking, we will continue to offer and promote parking at NMC, Eastern Elementary, and Central High School. Shuttle services will be offered and heavily advertised to half marathon runners. No parking will be allowed at the start of the race except for volunteers and staff. Depending on the amount of parking spaces made available by Chateau Grand Traverse we plan on handing out special "parking permits" in advance so volunteers are aware and can carpool as necessary.

F) We plan to have proper refuse containers available at the start and with each water station. Volunteers are heavily trained and aware that they must look for trash throughout the course and clean up as necessary.

G) There will be no amplified music along the course route. We plan to work with Peninsula Township to ensure proper number of signs are placed throughout the course to eliminate any chance of trespassing. We will also have volunteers placed strategically so they can educate runners on where they are allowed to run and warm up.

H) This race has an open course so there will be no major road closures on Old Mission Peninsula. The Sheriff will temporarily close Island View Road (approximately 15-30 minutes) if necessary. The race has applied for a Road Commission ROW permit.

I) We will list all parties as additional insured on our liability policy. All of our vendors are also required to list us as additional insured and all participants are required to accept a waiver of liability in their registration. We can also add additional property owners adjacent to the course to our liability policy if necessary. Below is a list of additional insured for 2016. Additional parties can be added. All insurance documents have been request and should be available prior to May.

- Warren Orchards
- Chateau Grand Traverse
- Bill & Monica Hoffman
- Island View Orchards
- Peninsula Township
- John & Laura Keenan
- Grand Traverse County Road Commission
- Daniel & Cameron Farley

J) We plan to work with Peninsula Township to obtain a proper list to use for the mailing of our event notification to Peninsula residents.

10: Site Plan illustrating the following uses as part of the proposed event

- A) Parcel boundaries – see below
- B) Location of event area – See below
- C) Location of parking – See below
- D) Location of sanitary facilities – See below
- E) Location and number of temporary structures – N/A
- F) Location of medical facilities – TBD
- G) Location of waste disposal facilities – See below
- H) Course map – route below
- I) Location of all signage on site and a long event's course – aid station reminders and mile markers placed at every mile

Parcel Boundaries and Site Map of Event Area – Chateau Grand Traverse (larger map below).

PENINSULA TWP



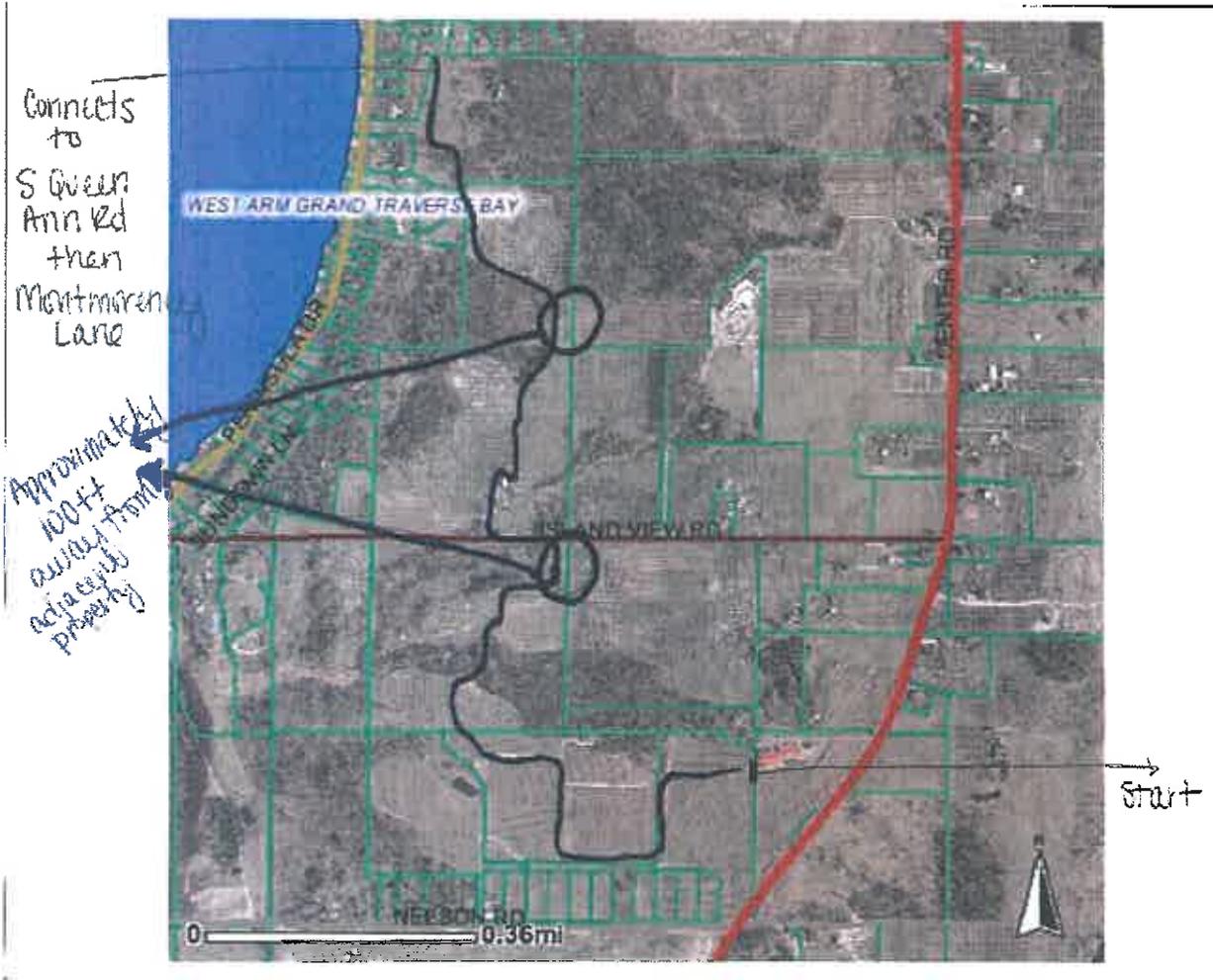
Grand Traverse County Location Map

This map is based on digital databases provided by Grand Traverse County. Grand Traverse County does not warrant, expressly or impliedly, or accept any responsibility for any errors, omissions, or that the information contained in the copy of the digital databases is accurate or positional. No warranty.



Parcel Lines

REVISED: This is a map from the Grand Traverse County website of the first section of the half marathon.





major
Festival
of Races
presented by 

Course Maps:

7:30am

7:50am

8:05am

5K • **10K** • **15K**

PriorityHealth 

-  Water Station
-  Gatorade
-  Porta John





	Water Station
	Gatorade
	Porta John



major
Festival of Races
 presented by 



Course Map:

1/2 Marathon
 7:00am START

April/June Post Card (sample – final approval will be sent to Peninsula Township prior to mailing)



Dear Peninsula Resident:

The 2016 Meijer Festival of Races is scheduled to take place on Saturday, July 9th. Racers will be running through your neighborhood between 7:00P.M. and 10:00 AM. A public hearing is scheduled for _____, 2016 at 7:00P.M. at the Township Hall where the application will be discussed.

The site plan and application is available for public inspection at the Township offices. 13235 Center Rd. Traverse City, Michigan, 49686.

PRSRT STD
PAID
TRAVERSE CITY MI
PERMIT #226



Festival of Races
presented by 

8:00am
15K

Course Map:
1/2 Marathon
7:00 START

Dear Peninsula Resident:

The 2016 Meijer Festival of Races is scheduled to take place on Saturday, July 9th. Approximately 1,000 racers will be running through your neighborhood between 7:00AM and 10:30 AM. Please keep an eye out for runners as you leave or return to your home.

Cheer on the runners as they pass by, and join us after the race for the Cherry Royale Parade. Thank you for your understanding and patience. For more information go to www.cherryfestival.org or call 231-947-4230. The site plan and application is available for public inspection at the Township offices, 13235 Center Rd. Traverse City, Michigan, 49686.

For unavoidable, special transportation needs during our event please email both jhamilton@gtsheriff.org and races@cherryfestival.org

Cherry-O!

PRSRT STD
PAID
TRAVERSE CITY MI
PERMIT #226



meijer

Festival of Races

presented by



Course Maps:

7:30am

7:50am

8:05am

5K • 10K • 15K

PriorityHealth

	Water Station
	Gatorade
	Porta John





	Water Station
	Gatorade
	Porta John



meijer
Festival of Races
 presented by



Course Map:

1/2 Marathon
 7:00am START



12230 CENTER ROAD
TRAVERSE CITY, MI
49686 USA



PHONE: 231.223.7355
FAX: 231.223.4105
WWW.CGTWINES.COM

February 19, 2016

Peninsula Township
Attn: Michelle Reardon, Director of Planning and Zoning
13235 Center Road
Traverse City, MI 49686

Dear Michelle,

Chateau Grand Traverse (CGT) winery is seeking Peninsula Township approval for us to offer our property location to host the starting point of the National Cherry Festival (NCF) Half Marathon running race. The race event, to be held on Saturday, July 9, 2016, is scheduled to begin around 7:30 am. All activities should be complete at CGT on or before 9:00 am the same day.

As part of the event, it is our understanding that the following will occur:

1. Approximately 750 Racers will arrive at CGT's winery facilities between 5:30 am – 7:00 am via a group of ten rotating school buses arriving and departing on an individual basis.
2. Runners would occupy CGT's outdoor area space to prepare for the race. No normal winery associated activities or entertainment will take place during this event period other than assisting runners in preparation for the race.
3. A bank of approximately 10-12 porta potties will be stationed on-site for the runners. These units would be removed following the race start completion.
4. Other than NCF and CGT support staff, personal vehicles will be at a minimum.
5. The race will commence on CGT's property and advance toward the north onto the Lyon Farm property and ultimately proceed south, down Peninsula Drive to end in Traverse City.
6. The professionally managed event will provide full and complete insurance coverage.

The purpose of this letter is to support this event as well as authorize representatives from the NCF to negotiate the details of this race with Peninsula Township Officials on our behalf. This is a worthwhile event that will create little noise, traffic or inconvenience for Peninsula residents. It will also serve to showcase the beauty of our region, highlight agriculture and promote health and well-being.

We hope you will approve this event in a timely manner so we can begin our planning. In the meantime, please feel free to contact me at (231) 223-7355 if you have any questions or concerns.

Respectfully,

Eddie O'Keefe
President

March 2, 2016

Peninsula Township
L3235 Center Road
Traverse City, Michigan 49686

Dear Peninsula Township Office:

Last years' Cherry Festival Half Marathon Race on Old Mission Peninsula was a success. We look forward to another race this year and are writing this letter to document our support for the race and our approval to run the race across our land.

Many friends and neighbors ran in the event and lined up along the route to cheer on the runners. We look forward to an even better event this year.

Please feel free to contact us if you have any questions.

Sincerely,



John & Laura Keenan

2299 Hawk Ridge Dr.
Traverse City, Michigan 49686
231-631-9345

Dear Peninsula Township Office

Re the National Cherry Festival's half marathon race that the Cherry Festival will be holding on Saturday July 9 2016, we are pleased to have the event run through our property. Everyone looked as though they had a great time last year, I think because it was the beginning of the race, and we look forward to seeing the racers again in 2016.

Please feel free to contact us with any questions.

Sincerely,

Dan and Cameron Farley

Cell -231-392-4176

13008 Queen Ann S

Island View Orchards, L.C

March 29, 2016

Dear Peninsula Township,

We are writing this letter in support of the National Cherry Festival Half Marathon Race that is planned for Saturday, July 9, 2016. Island View Orchards, LLC are happy to help host this great event on our property again this year. We are delighted with the way that the Cherry Festival ran the event these past two years, and with the participants and their appreciation of the venue.

We are pleased to be invited to be part of the event again in the Orchards in 2016, and endorse the continuation of this Cherry Festival Half Marathon. Island View Orchards loves seeing all the people and racers enjoying the view on the Old Mission Peninsula from such an unique vantage point, and hearing the positive feedback that the racer enjoyed being part of this unique opportunity as part of the Cherry Festival.

If you have any questions, you can contact us at 231-709-0053.

Sincerely,



John and Gloria Lyon
Island View Orchards, LLC

SPECIAL USE PERMIT No. 66 Replacing SUP24, SUP59 and SUP64
Winery Chateau - Planned Unit Development

To: Chateau Grand Traverse, Ltd.

WHEREAS,

Application having been made by the above named for a Special Use Permit for a Winery Chateau includes the previous site plus the addition of five acres to the north where the Chateau is located and Lot 1 of The Vineyards Subdivision.

This Special Use Permit replaces Special Use Permit 24 and any inconsistencies of approvals between the two shall be considered to favor this Special Use Permit.

Due notice having been given and public hearings having been held on said Application, and the Township Board having determined that the requested Site Plan and Special Use Permit are appropriate, in the best interest of the township, and meet the specific and special standards set forth in the Zoning Ordinance as required by Section 1610 of Public act 184 of 1943, as amended, and

The Township Board having determined that certain conditions upon the use of the premises are necessary to protect the health, safety and welfare of Township residents, to uphold the spirit and purpose of the Zoning Ordinance, and to insure that the development is harmonious and appropriate,

NOW, THEREFORE, BE IT RESOLVED AS FOLLOWS:

The Peninsula Township Board does hereby approve the Site Plan for the use of the above-referenced property by Chateau Grand Traverse, Ltd. subject to the requirements set forth below.

This Special Use Permit shall be valid for a period of one (1) year commencing on July 14, 1999 and ending on July 13, 2000. If construction has not commenced and proceeded meaningfully toward completion by the end of this period, the Zoning Administrator shall notify the applicant in writing of the expiration of this permit.

A. GENERAL CONDITIONS

All development of the premises shall be in strict conformance with the Site Plan.

- I. Findings of Fact The Findings of Fact as approved by the Township Board June 25, 1998 are incorporated herein by reference and such findings are conditions of approval of this Special Use Permit which adds the use of three additional rental rooms and the restriction of five acres on Carroll Road. The Special Use Permit is also subject to following additional conditions.
- II. Site Plan The Applicant's Site Plan dated 6/25/98 signed by the Township Supervisor as attached hereto and incorporated herein as Exhibit "A" shall be the Site Plan for the use of said property. Said plan shall be further subject to the requirements set forth in this Special Use Permit. The following comprise the Site Plan:

- A. Survey
- B. Chateau Plans
- C. Tasting Room Plans
- D. Winery Plans Showing addition and expanded bus parking
- E. Floor Plan of the Chateau Building
- F. Landscape Plan for Chateau Building
- G. Application and letter of February 25, 1998 to the Township Planner from Ed O'Keefe.

III. Allowed Uses The following uses constitute the only uses allowed on the premises.

A. Winery Building Shall be the primary use on the site.

- 1. Winery
- 2. Tasting Room
- 3. Brandy making
- 4. Food Items

B. Chateau Building

- 1. Owner/manager residence
- 2. Winery Offices
- 3. Six Rental rooms
- 4. Office space for the Winery.

C. Lot 1 Structures

- 1. Building #1 is used as a farm equipment and utility building used for the storage and maintenance of all related farm implements.
- 2. Building #2 is a steel building used as a food processing plant in accordance with the presently zoned A-1 agriculture which under 6.7.3 permits food processing plants subject to a Special Use Permit in accordance with the requirements of Article VIII, Section 8.5 of the Peninsula Township Zoning Ordinance.
- 3. Building #3 is presently used as a permanent residence.
- 4. Buildings #1 and #2 are presently leased to Chateau Grand Traverse.
- 5. Building #3 is intended to be leased as a vineyard office and as a facility for temporary housing for summer interns.
- 6. Site #4 is to be used as a site for a future residence when Building #3 is converted to the uses described in 5. above.

D. Development Density

- 1. The contiguous property exceeds the fifty (50) acre minimum required by the Ordinance for a Winery/Chateau. The undeveloped property of the Chateau Grand Traverse is under a conservation easement owned by the State of Michigan and cannot be developed.
- 2. Other Uses Notwithstanding the provisions of Section 6.7 of the Township Zoning Ordinance, uses,

other than as shown on the site plan or approved in this permit, whether permitted by right, by special use permit, or prior permits or approvals shall not be carried on within the development site except by amendment or other alteration of this Special Use Permit. Although it is not the intention altogether to prohibit such uses, any such proposed use must be integrated into the approved plan in a manner which is consistent with the Township Zoning Ordinance.

IV. General Conditions

- A. Road Construction/Access All roads in the development shall be constructed to conform with the standards of the Peninsula Township Zoning Ordinance.
- B. Emergency Vehicle Access shall be provided to all structures.
 - 1. Along one side of the building there shall be a hard surfaced area capable of supporting a 32,000 pound vehicle. Such area shall be at least eight (8) feet wide and between fifty (50) feet and twenty (20) feet from the structure.
 - 2. Fire truck access shall be provided to within one hundred-fifty (150) feet of all other sides of the building.
- C. Pedestrian access shall be provided to all sides of all buildings and structures to be used by the public.
- D. Signs Sign locations, size, and appearance shall conform to Township zoning ordinance standards and shall be the minimum necessary to provide adequate identification of the development at points of access to the public roadways and for the movement of vehicular and pedestrian traffic within the site. Banners, window advertising, flashing lights, and the like are expressly prohibited. All signs shall be consistent with the preservation of a rural ambiance at the site. Appropriate road signs to identify structures shall be provided.
- E. Parking All parking shall be constructed in accordance with the parking provisions of the Township Zoning Ordinance.
- F. Lighting All exterior lighting shall be shielded and directed downwards; light sources shall be located and designed so as to prevent light from being directed outside the boundaries of the development. Light poles and fixtures shall be located as low as practical; A greater number of low "area" lights are favored over higher lights. Incandescent lights are favored over sodium or mercury-type street lighting. All lighting fixtures, heights of poles and locations shall be reviewed and approved by the Zoning Administrator prior to their installation.

- G. Surety The Applicant shall provide, if requested by the Township, a bond, letter of credit or cash surety in a form and amount acceptable and approved by the Zoning Administrator and Township Attorney before commencement of construction of the development or any phase of the development for completion of landscaping, lighting, parking, blacktopping, etc. When improvements are proposed for which such bonds, letter of credit or cash surety are not required by other permitting agencies.

The Applicant shall submit detailed plans for landscaping, lighting, parking, etc. and estimates or bid proposals as required to provide the information necessary for the Zoning Administrator to determine the amount of required bonds, letters of credit or cash surety. Such letters of credit, cash surety or bond need only be for the phase of the project the applicant intends to construct under any single land use permit.

- H. Architectural Materials and Appearance All new construction and remodeling of existing construction shall adhere to the natural philosophy of architecture, requiring the use of natural and simulated natural materials such as wood, stone, brick, etc. in a manner which integrates them with the environment, and which contributes to the overall beauty and naturalness of the premises and is so related to the topography as to become a compatible, coherent part of the existing landscape. All construction shall be effected so as to minimize the visual impact of the development as seen from M-37.
- I. Open Space All spaces shown as open space or devoted to commercial agriculture on the site plan shall be maintained in open space or commercial agriculture. Existing deciduous tree cover shall be maintained to the extent practical; good horticultural and silvicultural practices may be observed.
- J. Set Backs A two hundred (200) foot setback shall be maintained between guest accommodations, accessory structures or residences, and agricultural crops, unless it is demonstrated that a lesser setback can be maintained which will provide for an equal level of protection from agricultural activities to residents, visitors and guests of the winery-chateau. Upon such demonstration, the Township Board may permit a lesser setback. Since the development is to be developed and operated as an entity, the special provisions of Sections 7.7.1 and 7.7.2 of the Township Zoning Ordinance do not apply between the chateau and the balance of the site. See Special Conditions for Chateau Building buffering.
- K. Drainage and Erosion Prior to issuance of any land use permits, Applicant shall obtain approval by the Soil Erosion and Sedimentation Control Office for a drainage plan for the site.

- L. Storage During the course of construction within the project, all equipment and building materials shall be located and stored so as not to create unsightly or hazardous conditions.
- M. Fees and Expenses All fees and expenses charged to the Applicant pursuant to township ordinance shall be paid before this permit becomes effective.
- N. Non-vesting The approval of this Special Use Permit by the Peninsula Township Board shall not operate to vest in the Applicant any right to rely upon any permission given herein until compliance has been had with all stated conditions herein. The Applicant waives any claim to vested rights relating to this permit which might otherwise occur by operation of law.
- V. Specific Conditions of Special Use Permit
The following provisions are applicable to the portion of the development used as a winery/tasting room:
- A. Waste Disposal All waste disposal shall be conducted in such a manner as not to create any offensive condition.
- B. Liquor Control Commission Applicant shall comply with all applicable rules of the Michigan Liquor Control Commission. Non-compliance with such rules shall be a proper basis for revoking this Special Use Permit.
- C. Parking The private road serving the Winery\Chateau is considered a driveway for access and parking provisions as long as this Special Use Permit is in effect. An additional 10 foot wide paved area is shown on the site plan to accommodate buses discharging and picking up passengers at the tasting room. The Applicant shall submit to the Zoning Administrator a computation demonstrating that the parking and parking lot lighting requirements of the Township Zoning Ordinance are met by the proposed parking plan.
- D. Outdoor Functions
1. Holding outdoor functions such as wine tasting parties, festivals, etc. shall require a special permit if such function is likely to involve more than seventy-five guests.
 2. The outdoor area for these functions shall be limited to the covered porch area of the tasting room plus the south lawn as shown on the Site Plan. These activities shall not take place at the residence/rental room structure (Chateau).
 3. The Zoning Administrator may, under guidelines to be established by the Township board, require some or all of the following as a condition of granting such a permit:
 - a. Special sanitary facilities;
 - b. Security;
 - c. Controls over advertising upon the site;
 4. Limitations upon hours of conduct if the activity is likely to impact upon surrounding properties.

5. Outside activities shall terminate by 10:00 p.m. except they shall terminate by 10:30 during the months of June, July and August.
6. No amplified outside music shall be allowed except low level mood music shall be allowed that does not exceed the level of a whisper at the property boundaries.
7. No temporary structures including tents or canopy are allowed unless specifically approved by the Township Board for each outdoor function.

E. Tasting Room

1. Retail sale of non-food items which promote the winery or Peninsula agriculture and have the logo of the winery permanently affixed to the item by silk screening, embroidery, monogramming, decals or other means of permanence. Such logo shall be a least twice as large as any other advertising on the item. No generic or non-logo items may be sold. Promotional items allowed may include corkscrews, wine glasses, gift boxes, t-shirts, bumper stickers etc.
2. Retail sale of packaged food items allowed in addition to bottled wine are those which contain wine or fruit produced in Peninsula Township. Such food items shall be produced in a licensed food establishment and properly labeled including the winery logo as the dominant logo. Such food items shall be intended for off premise consumption. Such allowed packaged food items may include mustard, vinegar, non-carbonated beverages, etc.
3. Incidental sales of non-refrigerated items such as sausage, cheese and crackers are allowed subject to the limits on percentage of area devoted to these items. There shall not be refrigerated display cases for them. It is not the intent to allow a delicatessen on the premises.
4. There shall not be advertising or signage indicating that items other than wine is being sold at the tasting room.

F. Brandy Making Brandy making is allowed within the confines of the existing winery building, provided:

1. Any extension of the building exterior beyond that shown on the Site Plan shall not take place without approval of the Township Board.
2. Brandy as described in 27 CFR Ch.1 SUBPART C Section 5.22 (d) Class 4; brandy may be made on the premises. It is understood that the processes will capture the essences of the fruit and that there will not odors detectable at the property boundaries.
3. Retail sales of brandy made at the winery are allowed subject to state and federal approval, however there shall not be public brandy tasting or sale of brandy by the glass under any circumstances.

G. Food Items The following food items may be made in the Winery Buildings (they include items that were historically produced and sold on the site and that this list will not be treated as a precedent for future permits):

1. Dried Fruit Products
 2. *Sauces and Salad Dressings
 3. *Vinegars
 4. *Cheese/wine products
 5. Fruits in wine or vinegar
 6. Jams and jellies
 7. Breads
 8. *Mustard
 9. *Oils, Olive etc.
 10. *Herbs
 11. Coffee products
 12. *Horseradish-relishes-chutney
 13. Canapes & hors d'oeuvres that go with wine.
- *These Items are combinations of oils, vinegars, herbs and vegetables.

VI. CHATEAU BUILDING The following provisions are applicable to the portion of the development used as a Chateau:

- A. Winery Offices
Offices for employees of the Winery/Chateau and the Owner/Manager of the Chateau are allowed.
- B. Six rental rooms are allowed provided the following C. through F. below are complied with.
- C. The five acre parcel along Carroll Road as shown on an attachment shall be restricted to agricultural production, agriculture buildings or open space only; and the condition shall remain as long as the Special Use Permit is in effect.
- D. The Applicant shall provide proof of ownership satisfactory to the Township Attorney to show that the five acre parcel is under the same ownership as the balance of the Chateau Grand Traverse property.
- E. The Applicant shall file an affidavit with the Register of Deeds (and provide the Zoning Administrator with a recorded copy) affirming that the 5 acre parcel is restricted as a condition of approval of the Special Use Permit and will not be used for purposes other than agricultural production, farm buildings or open space as long as the Special Use Permit is in effect and will run with the land.
- F. The minutes of the Zoning Board of Appeals determination that the five acre parcel can be used for "equivalency" purposes be attached to the Findings of Fact adopted by the Township Board.

G. Parking

There are six parking spaces shown on the site plan plus two parking spaces in the garage; Four along the east side of the structure, and two along the north/east corner of the driveway adjacent to the retention pond. Additional parking shall not be allowed outside the Chateau Building. The parking area at the Winery Building shall be used to accommodate any additional parking.

H. Agricultural Setback

The 200 Foot setback from agricultural land may be reduced to that shown on the site plan provided:

1. Two to three rows of spruce trees and fast growing popular trees planted from the North/East corner of the five acres containing the proposed Chateau westerly past the propane tank as shown on the site plan.

I. Wine and Brandy Storage

Wine and Brandy may be stored in the basement of the Chateau as allowed by all applicable licenses and regulations.

J. Non Food Item Sales

The following non-wine items and display areas will be allowed to continue to be sold in the tasting room provided the display areas for each item do not exceed those on the following table:

AREA	NON-WINE ITEMS FOR SALE	SQ.FT.	TYPE	% ROOM
8X3	Baskets	24	Island	1.2%
6X1.5	Gift Wraps & Samples	9	Shelf	.5%
7x3	Shirts, Hats, T-Shirts Sweatsuits	21	Wall & Shelf	1.1
8x1.5	Glasses, Coffee Mugs, Pretzels, Dried Cherries	12	Shelf	.6
8x2	Boxes (logo & name), Wine Racks	16	Island	.8
5x1.5	Vinegar, Toppings, Fruit Preserves, Cherry Coffee	7.5	Shelf	.4
5x3	Shipping Boxes	15	Island	.8
4x5	Corkscrews, Small Cheeses, Sausage, Crackers	20	Island	1.0
	TOTAL	124.5		6.3
	Totals do not include wine displays or counter display areas			

VII. Violations and Notice Requirements

Any violation of these conditions shall serve as grounds for revocation of this Special Use Permit by the Township Board. In the event of any such violation, the Township shall give written notice to the Applicant at the last address furnished to the Township by the Applicant. The notice shall state that unless the violation is corrected or resolved to the satisfaction of the Township Board within 30 days from the date of the notice, then the Township Board may revoke this Special Use Permit after hearing. In the event a hearing becomes necessary, the Township Board shall establish the notice requirements and such other conditions with respect to the hearing as the Township Board may deem appropriate. After the hearing, if the Township Board revokes this Special Use Permit, then enforcement of the revocation may be made by application for appropriate relief in Grand Traverse County Circuit Court and the Township may recover all of the costs, including attorney fees, associated with or resulting from such violation or noncompliance.

VIII. Relation to Special Use Permit No. 24 and Special Use Permit No. 59

SUP 24 was approved prior to the sale of the Development Rights on a portion of the property. Special Use Permit No. 59 replaced SUP 24 with Winery/Chateau; SUP 64 added the Chateau Building with three rental rooms. This Special Use Permit No. 66 replaces Special Use Permits 24, 59 and 64 and any inconsistencies of approvals between them shall be considered to favor this Special Use Permit.

Rob Manigold,
Township Supervisor

The undersigned hereby certifies that she is the Clerk for the Township of Peninsula, Grand Traverse County, Michigan and that the foregoing Special Use Permit was approved by the Peninsula Township Board on the 13th day of July, 1999.

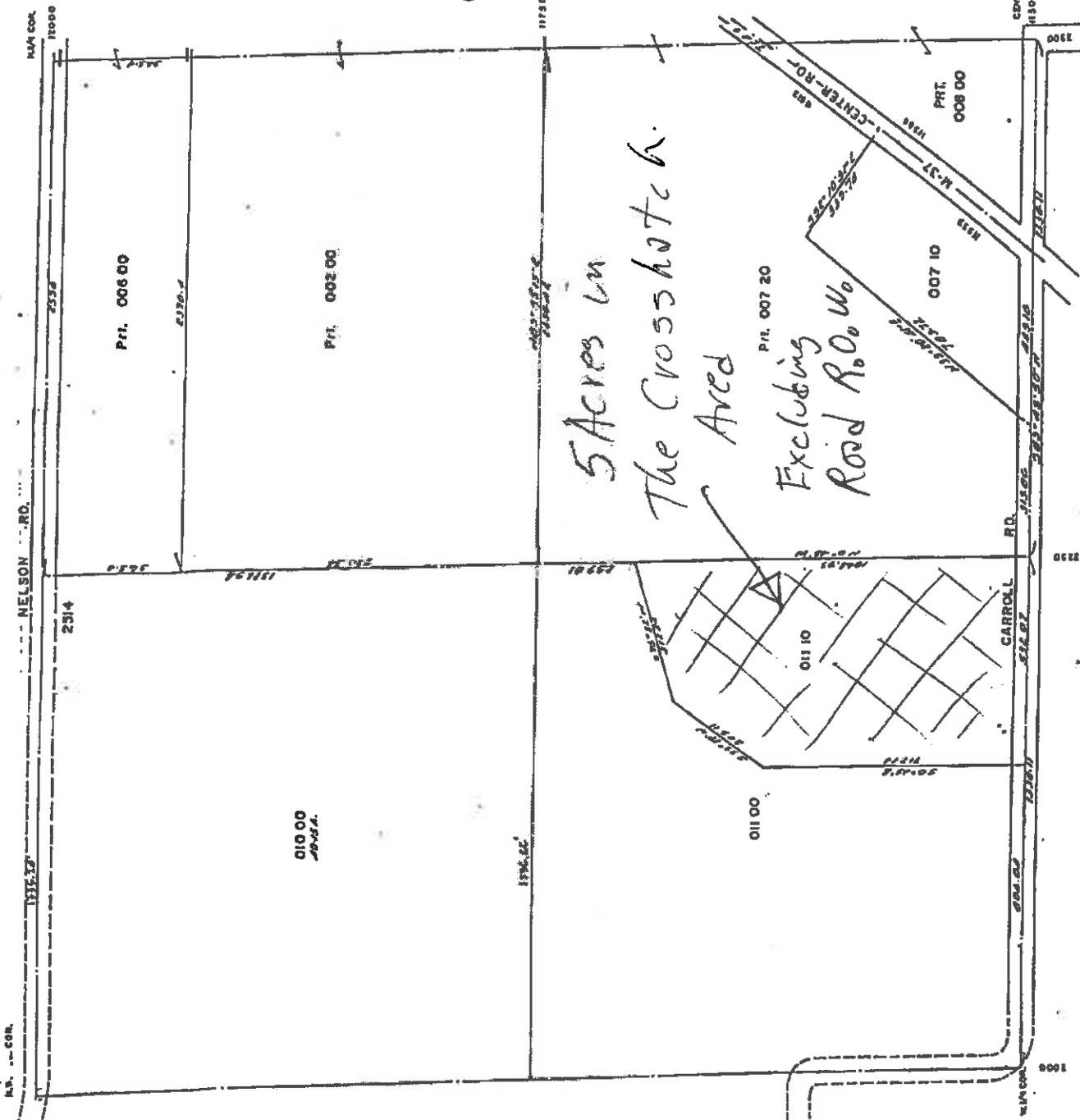
The undersigned further certifies that a quorum was present at said meeting and that said meeting complied with all applicable laws and regulations.

Lorrie DeVol,
Township Clerk

The Applicant hereby acknowledges receipt of the Special Use Permit and agrees to comply with all of the terms and conditions thereof.

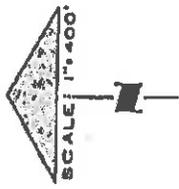
Chateau Grand Traverse, Ltd.

Applicant



N.W. 1/4
 Section 4, T.28N., R.10W
 PENINSULA TOWNSHIP
 GRAND TRAVERSE COUNTY, MICHIGAN

28 11 004



*5 Acres in
 The Crosshatch
 Area
 Excluding
 Road R.O. No.
 007 10*

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PRT. 006 00 6370.1'

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Peninsula Township Planning & Zoning Department
13235 Center Road
Traverse City, MI 49686

**SPECIAL USE PERMIT
FINDINGS OF FACT**

SUP #123, The 81 on East Bay (Planned Unit Development Condominium Subdivision)

May 10, 2016

PENINSULA TOWNSHIP BOARD

DECISION AND ORDER

Applicant: The 81 Development Company, LLC
Kevin O'Grady, Owner
6978 Dixie Hwy, Suite A
Clarkston MI 48346

Hearing Date: May 18, 2015, June 15, 2015, July 14, 2015 and August 11, 2015

PROPERTY DESCRIPTION

Parcel ID#: 28-11-114-001-00; 28-11-114-002-00

APPLICATION

Per the decision and order of Judge Rodgers of the 13th Circuit Court for Grand Traverse County made on January 15, 2016 in case number 2015-31218-AA with respect to The 81 on East Bay Special Use Permit application and the application for Planned Unit Development, the Peninsula Township Board will hold a public hearing at a regular meeting on March 15, 2016 at 7:00 PM at the Peninsula Township Hall, 13235 Center Road, Traverse City, MI 49686, (231) 223-7322 to review the following standards under the Peninsula Township Zoning Ordinance: Section 8.1.3 (1) (c), Section 8.1.3 (3) (d), Section 8.1.3 (3) (e), Section 8.1.3 (3) (h), Section 8.1.3 (3) (i); Section 8.1.3 (3) (j), and Section 8.1.3 (3) (n).

The Board having considered the Application, a public hearing having been held on May 10, 2016 before the Township Board after giving due notice as required by law, the Board having heard the statements of the Applicant and agents, the Board after having considered letters submitted by members of the public and comments by members of the public, the Board having considered 11 Exhibits, and the Board having reached a decision on this matter, states as follows:

Section 8.1.3 (1) General Standards: The Town Board shall review each application for the purpose of determining that each proposed use meets the following standards, and in addition, shall find adequate evidence that each use on the proposed location will:

Section 8.1.3 (1) (c): Be served adequately by essential facilities and services, such as highways, streets, police, fire protection, drainage structures, refuse disposal, water and sewage facilities, or schools.

- i. **The Board finds that the proposed PUD will incorporate private frontage roads. The engineering and design of these roads have been reviewed and approved by the Township**

Engineer, Brian Boals, of Gourdie Fraser with respect to grading, drainage patterns and pavement cross-sections. (Exhibits 1 & 11)

- ii. The Board finds the development will be served in part by a community septic facility with other home sites being serving by private, individual septic systems. As with all such systems, review and approval must be obtained from the Grand Traverse County Health Department and, as applicable, for the community septic system, the Michigan Department of Environmental Quality. The Board further finds that Daniel Thorell, M.S., R.S., Environmental Sanitarian for the Grand Traverse County Health Department, has examined the soils within the project area, including soils in the proposed reserve septic field for the community dispersal field as well as for individual units and has determined that the soils are suitable for waste water dispersal. (Exhibit 2 & 13)
- iii. The Board finds that the residential lots will be served by individual wells. The Grand Traverse County Health Department, by and through Daniel R. Thorell, M.S., R.S., Environmental Health Coordinator, examined a test well on the site and determined that based on the test well results approval will be granted for the use of individual wells for the development by the County Health Department. (Exhibit 3)
- iv. The Board finds the development has been reviewed by Brian Boals of Gourdie Fraser engineers, being the Township Engineers, with respect to the requirements of the Peninsula Township Storm Water Control Ordinance determining that storm water calculations for the project have been found to be acceptable with respect to drainage patterns, storm sewer sizing and storm water retention. (Exhibits 1 & 11)
- v. The Board finds that the County Sheriff has conducted a review of the submitted plans and offered comments. The Sheriff's Department, by and through Lt. Chris Barsheff, has determined that there is nothing objectionable in the submitted site plans within the areas of responsibility of the Sheriff's Department. (Exhibit 4)
- vi. The Board finds that the Peninsula Township Fire Department has conducted a review of the plan and approves the plan as submitted. (Exhibit 5)

This standard HAS/HAS NOT been met.

Section 8.1.3 (3) Specific Requirements: In reviewing an impact assessment and site plan, the Planning Commission and the Township Board shall consider the following standards:

Section 8.1.3 (3) (d): That the plan meets the requirements of Peninsula Township for fire and police protection, water supply, sewage disposal or treatment, storm drainage and other public facilities and services.

- i. The Board finds that the Peninsula Township Fire Department has conducted a review of the plan and approves the plan as submitted. (Exhibits 1 & 5)**
- ii. The Board finds that the County Sheriff has conducted a review of the submitted plans and offered comments. The Sheriff's Department, by and through Lt. Chris Barsheff, has determined that there is nothing objectionable in the submitted site plans within the areas of responsibility of the Sheriff's Department. (Exhibits 1 & 4)**
- iii. The Board finds the development has been reviewed by Brian Boals of Gourdie Fraser engineers, being the Township Engineers, with respect to the requirements of the Peninsula Township Storm Water Control Ordinance determining that storm water calculations for the project have been found to be acceptable with respect to drainage patterns, storm sewer sizing and storm water retention. (Exhibits 1 & 11)**
- iv. The Board finds that the Grand Traverse County Soil Erosion and Sedimentation Control Department has reviewed the project and has granted preliminary approval as well as reasonable assurance that the SESC permit will be issued if final drawings for construction are submitted that are consistent with the preliminary approval. (Exhibits 1 & 7)**
- v. The Board finds that the site plan shall meet all necessary requirements related to the Great Lakes waterfront as mandated by the Michigan Department of Environmental Quality and the Army Corps of Engineers. The applicant has submitted a letter from the Michigan Department of Environmental Quality dated March 5, 2015 showing no permit is required from this agency as it pertains to the dock structure. The applicant has submitted a letter from the Army Corps of Engineers dated July 21, 2015 indicating the project has been reviewed and a permit has been offered. (Exhibits 8, 9 & 13)**
- vii. The Board finds the development will be served in part by a community septic facility with other home sites being serving by private, individual septic systems. As with all such systems, review and approval must be obtained from the Grand Traverse County Health Department and, as applicable, for the community septic system, the Michigan Department of Environmental Quality. The Board further finds that Daniel Thorell, M.S., R.S., Environmental Sanitarian for the Grand Traverse County Health Department, has examined the soils within the project area, including soils in the proposed reserve septic field for the community dispersal field as well as for individual units and has determined that the soils are suitable for waste water dispersal. (Exhibits 2 & 13)**
- viii. The Board finds that the residential lots will be served by individual wells. The Grand Traverse County Health Department, by and through Daniel R. Thorell, M.S., R.S., Environmental Health Coordinator, examined a test well on the site and determined that based on the test well results approval will be granted for the use of individual wells for the development by the County Health Department. (Exhibit 3)**

This standard HAS/HAS NOT been met.

- Section 8.1.3 (3) (e): That the plan meets the standards of other governmental agencies where applicable, and that the approval of these agencies has been obtained or is assured.
- i. The Board finds that the County Sheriff has conducted a review of the submitted plans and offered comments. The Sheriff's Department, by and through Lt. Chris Barsheff, has determined that there is nothing objectionable in the submitted site plans within the areas of responsibility of the Sheriff's Department. (Exhibits 1 & 4)**
 - ii. The Board finds that the Peninsula Township Fire Department has conducted a review of the plan and approves the plan as submitted. (Exhibit 5)**
 - iii. The Board finds that the residential lots will be served by individual wells. The Grand Traverse County Health Department, by and through Daniel R. Thorell, M.S., R.S., Environmental Health Coordinator, examined a test well on the site and determined that based on the test well results approval will be granted for the use of individual wells for the development by the County Health Department. (Exhibit 3)**
 - iv. The Board finds the development will be served in part by a community septic facility with other home sites being serving by private, individual septic systems. As with all such systems, review and approval must be obtained from the Grand Traverse County Health Department and, as applicable, for the community septic system, the Michigan Department of Environmental Quality. The Board further finds that Daniel Thorell, M.S., R.S., Environmental Sanitarian for the Grand Traverse County Health Department, has examined the soils within the project area, including soils in the proposed reserve septic field for the community dispersal field as well as for individual units and has determined that the soils are suitable for waste water dispersal. (Exhibits 2 & 13)**
 - v. The Board finds the development has been reviewed by Brian Boals of Gourdie Fraser engineers, being the Township Engineers, with respect to the requirements of the Peninsula Township Storm Water Control Ordinance determining that storm water calculations for the project have been found to be acceptable with respect to drainage patterns, storm sewer sizing and storm water retention. (Exhibits 1 & 11)**
 - vi. The Board finds that the site plan shall meet all necessary requirements related to the Great Lakes waterfront as mandated by the Michigan Department of Environmental Quality and the Army Corps of Engineers. The applicant has submitted a letter from the Michigan Department of Environmental Quality dated March 5, 2015 showing no permit is required from this agency as it pertains to the dock structure. The applicant has submitted a letter from the Army Corps**

of Engineers dated July 21, 2015 indicating the project has been reviewed and a permit has been offered. (Exhibits 8 & 9)

This standard HAS/HAS NOT been met.

- Section 8.1.3 (3) (h): That the soil conditions are suitable for excavation and site preparation, and that organic, wet or other soils which are not suitable for development will either be undisturbed or modified in an acceptable manner.
- i. **The Board finds that the Grand Traverse County Soil Erosion and Sedimentation Control Department has reviewed the project and has granted preliminary approval as well as reasonable assurance that the SESC permit will be issued if final drawings for construction are submitted that are consistent with the preliminary approval. (Exhibits 1 & 7)**
 - ii. **The engineering and design of these roads have been reviewed and approved by the Township Engineer, Brian Boals, of Gourdie Fraser with respect to grading, drainage patterns and pavement cross-sections. (Exhibits 1 & 11)**
 - iii. **The Board finds that the residential lots will be served by individual wells. The Grand Traverse County Health Department, by and through Daniel R. Thorell, M.S., R.S., Environmental Health Coordinator, examined a test well on the site and determined that based on the test well results approval will be granted for the use of individual wells for the development by the County Health Department. (Exhibit 3)**
 - iv. **The Board finds the development will be served in part by a community septic facility with other home sites being serving by private, individual septic systems. As with all such systems, review and approval must be obtained from the Grand Traverse County Health Department and, as applicable, for the community septic system, the Michigan Department of Environmental Quality. The Board further finds that Daniel Thorell, M.S., R.S., Environmental Sanitarian for the Grand Traverse County Health Department, has examined the soils within the project area, including soils in the proposed reserve septic field for the community dispersal field as well as for individual units and has determined that the soils are suitable for waste water dispersal. (Exhibits 2 & 13)**
 - v. **The Board finds that the applicant has provided a comprehensive review of the site by a qualified environmental consultant, being GEI Consultants of Michigan, P.C. The Board further finds that the reports delineate wetlands which will not be developed and which shall be preserved within the development. (Exhibits 1 & 10)**

This standard HAS/HAS NOT been met.

Section 8.1.3 (3) (i): That the proposed development will not cause soil erosion or sedimentation problems.

- i. **The Board finds that the Grand Traverse County Soil Erosion and Sedimentation Control Department has reviewed the project and has granted preliminary approval as well as reasonable assurance that the SESC permit will be issued. (Exhibits 1 & 7)**
- ii. **The Board finds that the Township Engineer of Record has reviewed and approved the proposed grading plans. (Exhibits 1 & 11)**
- iii. **The Board finds that the applicant has provided a confirmation by a qualified consultant for the wetland delineation shown on the plans. (Exhibit 10)**
- iv. **The engineering and design of these roads have been reviewed and approved by the Township Engineer, Brian Boals, of Gourdie Fraser with respect to grading, drainage patterns and pavement cross-sections. (Exhibits 1 & 11)**

This standard HAS/HAS NOT been met.

Section 8.1.3 (3) (j): That the drainage plan for the proposed development is adequate to handle anticipated storm-water runoff, and will not cause undue runoff onto neighboring property or overloading of water courses in the area.

- i. **The engineering and design of these roads have been reviewed and approved by the Township Engineer, Brian Boals, of Gourdie Fraser with respect to grading, drainage patterns and pavement cross-sections. (Exhibits 1 & 11)**

This standard HAS/HAS NOT been met.

Section 8.1.3 (3) (n): That the plan provides for the proper expansion of existing facilities such as public streets, drainage systems and water sewage facilities.

- i. **The engineering and design of these roads have been reviewed and approved by the Township Engineer, Brian Boals, of Gourdie Fraser with respect to grading, drainage patterns and pavement cross-sections. (Exhibits 1 & 11)**
- ii. **The Board finds that the residential lots will be served by individual wells. The Grand Traverse County Health Department, by and through Daniel R. Thorell, M.S., R.S., Environmental Health Coordinator, examined a test well on the site determining that based on the test well results approval will be granted for the use of individual wells for the development. (Exhibit 3)**

- iii. The Board finds the development has been reviewed by Brian Boals of Gourdie Fraser engineers, being the Township Engineers, with respect to the requirements of the Peninsula Township Storm Water Control Ordinance determining that storm water calculations for the project have been found to be acceptable with respect to drainage patterns, storm sewer sizing and storm water retention. (Exhibits 1 & 11)
- iv. The Board finds that the County Sheriff has conducted a review of the submitted plans and offered comments. The Sheriff's Department, by and through Lt. Chris Barsheff, has determined that there is nothing objectionable in the submitted site plans within the areas of responsibility of the Sheriff's Department. (Exhibits 1 & 4)
- v. The Board finds that the Peninsula Township Fire Department has conducted a review of the plan and approves the plan as submitted. (Exhibits 1 & 5)

This standard HAS/HAS NOT been met.

MOTION TO APPROVE/DENY

Motion made by _____, supported by _____ that based upon the specific findings of fact with respect to Sections 8.1.3(1)(c); 8.1.3(3)(d); 8.1.3(3)(e); 8.1.3(3)(h); 8.1.3(3)(i); 8.1.3(3)(j); and 8.1.3(3)(n) that the applicant has met these standards and in conjunction with the Township's previous approval of this project on August 11, 2015 along with these supplemental findings of fact made at the direction of Judge Rodgers in his Order dated January 15, 2016, all standards have been met and the applicant's request for Special Use Permit to a Planned Unit Development is hereby recommended to be approved.

Ayes:

Nays:

DECISION

Upon Motion, seconded and passed the Board RULED that the Applicant's variance request be ALLOWED / DENIED / TABLED.

TIME PERIOD FOR JUDICIAL REVIEW

MCL 125.3606 provides that any party aggrieved by a decision of the Township Board may appeal that decision to the Circuit Court within thirty (30) days after the Township Board issues its decision in writing signed by the chairperson, if there is a chairperson, or signed by the members of the Township Board, if there is no chairperson, or within twenty-one (21) days after the Township Board approves the minutes at which the decision was made.

DATE DECISION AND ORDER ADOPTED

Date

Chairperson

Date

Vice Chairperson

Date

Secretary

**Peninsula Township Planning & Zoning Department
13235 Center Road
Traverse City, MI 49686**

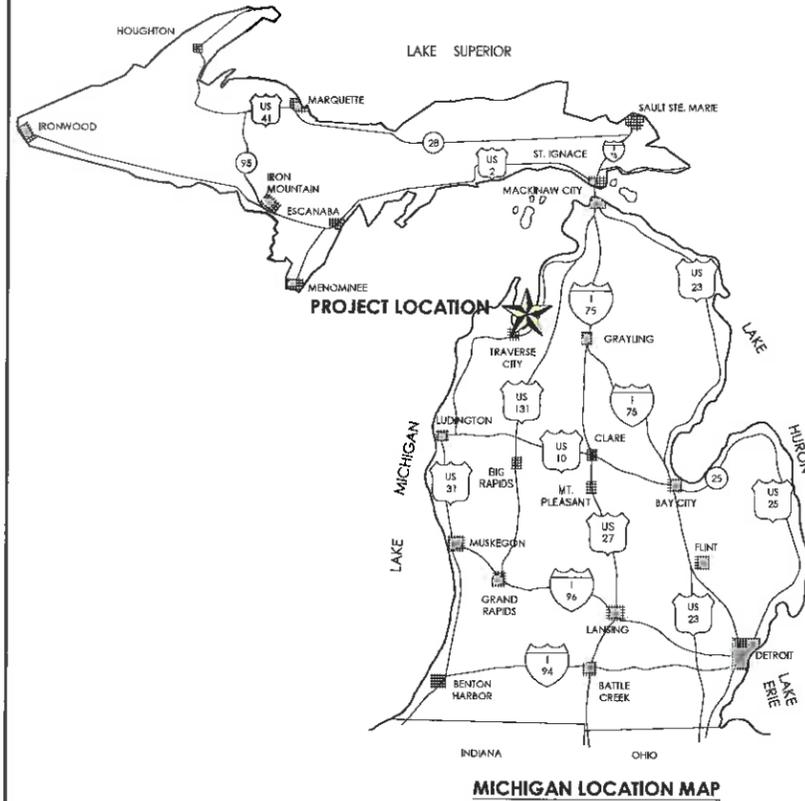
SPECIAL USE PERMIT

EXHIBIT LIST

SUP #123, The 81 on East Bay (Planned Unit Development Condominium Subdivision)

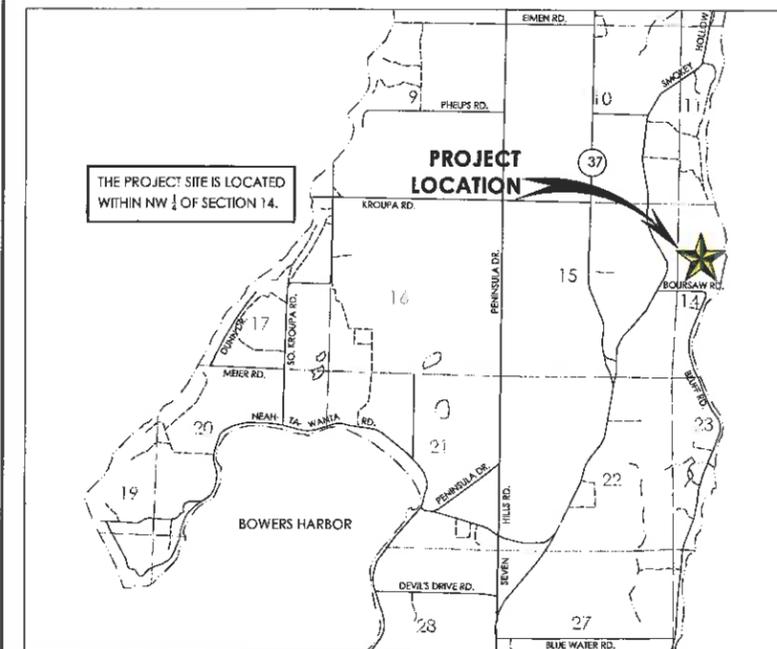
May 10, 2016

1. The 81 on East Bay – PUD plan set revised and submitted 02-09-16
2. Email and test well data from Daniel Thorell, Grand Traverse County Health Department dated February 18, 2015
3. Email from Daniel Thorell, Grand Traverse County Health Department dated March 10, 2016
4. Letter from Lt. Chris Barsheff, Grand Traverse County Sheriff's Office dated January 15, 2015
5. Letters from Steve Ronk, Peninsula Township Fire Department dated February 24, 2016 and April 9, 2016
6. Memorandum from Rob Duranczyk, PS, Grand Traverse County Road Commission dated May 27, 2014
7. Letter from Robert Cooney, Grand Traverse County Prosecuting Attorney dated February 24, 2016
8. Letter from Robyn L Schmidt, Michigan Department of Environmental Quality dated March 5, 2015
9. Letter from Charles M. Simon, United States Department of the Army, Corps of Engineers dated July 21, 2015
10. Wetland Delineation Report prepared by GEI Consultants of Michigan, P.C. dated June 15, 2015
11. Letters from Brian Boals, Gourdie Fraser dated March 8, 2016 and March 15, 2016
12. Resolution and Letter from Peninsula Township Board dated March 15, 2016
13. The 81 on East Bay – Supplemental Information dated April 13, 2016



MICHIGAN LOCATION MAP

VICINITY MAP



PROJECT AND SITE DATA:

Developer: The 81 Development Company, LLC
 4978 Dixie Highway, Suite A
 Clarkston, MI 48346
 Contact: Kevin O'Grady
 Phone: 248-575-3300

Owner: The 81 Development Company, LLC
 4978 Dixie Highway
 Suite A
 Clarkston, MI 48346

Parcel ID: 28-11-114-001-00, 15634 Smokey Hollow Road
 28-11-114-002-00, 15636 Bluff Road

Parcel Zoning: R-1A, Rural and Hill Side
 Min. Lot Area: 1 acre
 Min. Lot Width: 150'
 Setbacks: Front = 30'
 Side = 15'
 Rear = 30'
 Ordinary High Water Mark = 60'

R-1B, Coastal Zone (small area in the SW corner of parcel)
 Min. Lot Area: 25,000 s.f.
 Min. Lot Width: 100'

Setbacks: Front = 30'
 Side = 15'
 Rear = 30'
 Ordinary High Water Mark = 60'

LEGAL DESCRIPTION AS SURVEYED:
 THAT PART OF GOVERNMENT LOT 1, SECTION 14, TOWN 29 NORTH, RANGE 10 WEST, PENINSULA TOWNSHIP, GRAND TRAVERSE COUNTY, MICHIGAN, MORE FULLY DESCRIBED AS FOLLOWS:
 BEGINNING AT THE WEST QUARTER CORNER OF SAID SECTION 14; THENCE NORTH 00° 26' 00" EAST ALONG THE WEST LINE OF SAID SECTION 14, 2680.29 FEET TO THE NORTHWEST CORNER OF SAID SECTION 14; THENCE SOUTH 88° 48' 33" EAST ALONG THE NORTH LINE OF SAID SECTION 14, 1100.32 FEET TO A MEANDER CORNER NEAR GRAND TRAVERSE BAY; THENCE ALONG AN INTERMEDIATE TRAVERSE LINE NEAR GRAND TRAVERSE BAY FOR THE NEXT 14 COURSES; THENCE SOUTH 01° 25' 58" WEST, 79.02 FEET; THENCE SOUTH 25° 05' 02" EAST, 518.78 FEET; THENCE SOUTH 14° 35' 47" EAST, 311.48 FEET; THENCE SOUTH 11° 58' 32" EAST, 199.94 FEET; THENCE SOUTH 23° 25' 55" WEST, 93.64 FEET; THENCE SOUTH 04° 27' 27" WEST, 183.95 FEET; THENCE SOUTH 07° 07' 53" EAST, 108.47 FEET; THENCE SOUTH 10° 47' 34" EAST, 232.80 FEET; THENCE SOUTH 30° 26' 26" WEST, 105.07 FEET; THENCE SOUTH 07° 17' 23" WEST, 193.38 FEET; THENCE SOUTH 17° 13' 58" WEST, 118.48 FEET; THENCE SOUTH 02° 04' 42" EAST, 94.58 FEET; THENCE SOUTH 13° 19' 56" WEST, 92.41 FEET; THENCE SOUTH 04° 54' 55" WEST, 110.42 FEET; THENCE LEAVING INTERMEDIATE TRAVERSE LINE NORTH 88° 41' 38" WEST, 204.43 FEET; THENCE SOUTH 28° 47' 55" WEST, 225.53 FEET; THENCE SOUTH 88° 41' 59" EAST, 297.93 FEET TO A POINT NEAR GRAND TRAVERSE BAY; THENCE SOUTH 15° 14' 57" WEST ALONG AN INTERMEDIATE TRAVERSE LINE NEAR GRAND TRAVERSE BAY, 40.08 FEET; THENCE NORTH 62° 20' 10" WEST, 107.25 FEET; THENCE NORTH 88° 41' 59" WEST, 204.40 FEET; THENCE SOUTH 28° 47' 55" WEST, 125.70 FEET TO THE EAST-WEST QUARTER LINE OF SAID SECTION 14; THENCE SOUTH 89° 46' 22" WEST ALONG THE EAST-WEST QUARTER LINE OF SAID SECTION 14, 944.97 FEET TO THE POINT OF BEGINNING. THE SIDELINES EXTENDED TO THE WATER'S EDGE OF GRAND TRAVERSE BAY.

DESCRIPTION	STANDARD PLAN LEGEND	
	EXISTING	PROPOSED
GROUND CONTOUR	605	613
SPOT ELEVATION	613.2	613.50
CONTOUR FROM USGS TOPOGRAPHIC MAP		613.50
TOP OF CURB ELEVATION	+ 613.5	613.00
PAVEMENT (OR OUTER FLOW LINE) ELEVATION	613.0	613.00
DIRECTION OF SURFACE FLOW		←
DRAINAGE HIGH POINT		HP.
DRAINAGE LOW POINT		LP.
WATER MAIN		—
SANITARY FORCE MAIN		—
SANITARY SEWER		—
STORM SEWER		—
GAS MAIN		—
OVERHEAD ELECTRIC		—
PROPERTY LINE		—
TREE LINE		—
PINE LINE		—
EDGE OF WETLAND		—
EDGE OF WATER		—
C/L OR DRAINAGE DITCH OR WATER LINE		—
SILT FENCE		—
DETENTION BASIN BERM		—
MANHOLE (MH)	○	●
CATCH BASIN (CB)	⊗	⊗
CLEAN OUT (CO)	○	○
RISER	⊗	⊗
GATE VALVE	⊕	⊕
FIRE HYDRANT ASSEMBLY	⊕	⊕
CURB STOP & BOX	⊙	⊙
POLE, POWER OR ELECTRIC	⊗	⊗
LIGHT POLE		⊗
SIGN	⊕	⊕
BENCH MARK (BM)	⊕	⊕
U/G UTILITY SIGN	⊕	⊕
GUY ANCHOR	⊕	⊕
DIRECTION OF SURFACE FLOW		←
DRAINAGE HIGH POINT		HP.
DRAINAGE LOW POINT		LP.
SOIL EROSION CONTROL MEASURE (MICHIGAN UNIFIED KEYING SYSTEM)		⑥
P=PERMANENT T=TEMPORARY		
IRON FOUND / IRON SET	○	○
CONCRETE MONUMENT	⊙	⊙
GOVERNMENT CORNER	⊕	⊕
NAIL FOUND / NAIL SET	⊕	⊕
RECORD / MEASURED	(R)	(M)
FENCE	—	—
WOOD STAKE	□	□



- PUBLIC AGENCIES AND UTILITIES**
- GRAND TRAVERSE COUNTY DEPARTMENT OF PUBLIC WORKS (DPW)**
 Manager: John Divozza
 Address: 2650 Lafranier Rd., Traverse City, MI 49686
 Telephone: 231-995-6039
- GRAND TRAVERSE COUNTY ROAD COMMISSION**
 Manager: James Cook
 Address: 1881 Lafranier Rd., Traverse City, MI 49686
 Telephone: 231-922-4848
- GRAND TRAVERSE COUNTY SOIL EROSION AND SEDIMENTATION CONTROL**
 Supervisor: Bruce Remai
 Address: 2650 Lafranier Rd., Traverse City, MI 49686
 Telephone: 231-995-6042
- PENINSULA TOWNSHIP STORMWATER CONTROL ORDINANCE**
 Planning Director: Michelle Reardon
 Telephone: 231-223-7314
 Township Engineer: Brian Book (Gourdie/Fraser)
 Telephone: 231-946-5874
- CHERRYLAND ELECTRIC COOPERATIVE (ELEC.)**
 Engineer: Frank Seipker
 Address: 5930 US-31 S., Traverse City, MI 49684
 Telephone: 231-486-9220
- CONSUMERS ENERGY (ELEC.)**
 Engineer: Chuck Walkonis
 Address: 821 Hastings St., Traverse City, MI 49686
 Telephone: 231-929-6228
- CHARTER COMMUNICATIONS (T.V.)**
 Manager: Rob Nowak
 Address: 701 S. Airport Rd., Traverse City, MI 49686
 Telephone: 231-941-3766
- POLICE AGENCIES**
- EMERGENCIES: 911
 Michigan State Police: 231-946-4646
 Grand Traverse County Sheriff: 231-995-5001
 Peninsula Twp. Community Police Officer: 231-223-4525
- FIRE DEPARTMENTS**
- EMERGENCIES: 911
 Grand Traverse Metro: 231-947-3000
 Grand Traverse Rural: 231-943-9721
 Peninsula Township:
 Station #1: 231-223-4443
 Station #2: 231-947-1293

- PLAN INDEX**
- C1.0 COVER SHEET
 - C1.1 NOTE SHEET
 - C1.2 TYPICAL CROSS SECTIONS
 - C1.3 CIVIL DETAILS - SEPTIC SYSTEM
 - C1.4 CIVIL DETAILS - STORM & SANITARY SEWER
 - C1.5 CIVIL DETAILS - SANITARY FORCEMAIN
 - C1.6 CIVIL DETAILS - WATER TANK
 - C1.7 CIVIL DETAILS - MISC.
 - C2.0 EXISTING CONDITIONS & DEMOLITION PLAN
 - C2.1 SOILS MAP
 - C3.0 SOIL EROSION & SEDIMENTATION CONTROL PLAN
 - C4.0 SITE & DIMENSION PLAN
 - C4.1 OVERALL SITE PLAN
 - C5.0 OVERALL GRADING PLAN
 - C6.0 OVERALL UTILITY PLAN
 - C6.1 PLAN & PROFILE - P.O.B. TO STA 11+00 (81 AVE.)
 - C6.2 PLAN & PROFILE - STA 11+00 TO STA 22+00 (81 AVE.)
 - C6.3 PLAN & PROFILE - STA 22+00 TO STA 33+00 (81 AVE.)
 - C6.4 PLAN & PROFILE - STA 33+00 TO STA 43+00 (81 AVE.)
 - C6.5 PLAN & PROFILE - STA 43+00 TO STA 47+00 (81 AVE.) & COMMONS AREA A
 - C6.6 COMMONS AREA A - SANITARY PLAN & PROFILE
 - C6.7 PLAN & PROFILE - P.O.B. TO P.O.E. (THE 81 EAST)
 - C6.8 PLAN & PROFILE - P.O.B. TO P.O.E. (FIRE LANE)
 - L1.0 LANDSCAPE PLAN

The 81 on East Bay - PUD
 Peninsula Township, Grand Traverse County, Michigan

830 Conantier Dr. Ste. 201
 P.O. Box 4015
 Traverse City, MI 49685
 Phone: 231-946-9310
 Fax: 231-946-9310
 Email: info@mansfield.com

Mansfield
 Land Use Consultants

CONSTRUCTION

DATE: 03.05.14

14016

C1.0

GENERAL CONSTRUCTION NOTES:

- MISS DIG**
FOR PROTECTION OF UNDERGROUND UTILITIES AND IN CONFORMANCE WITH PUBLIC ACT 53, 1974, THE CONTRACTOR SHALL DIAL 811 OR 1-800-482-7171 A MINIMUM OF THREE FULL WORKING DAYS, EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS PRIOR TO BEGINNING EACH EXCAVATION IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED. MEMBERS WILL BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE PART OF THE "MISS DIG" ALERT SYSTEM.
- EXISTING UTILITIES**
EXISTING PUBLIC UTILITIES AND UNDERGROUND STRUCTURES SUCH AS PIPE LINES, ELECTRIC CONDUITS, SEWERS AND WATER LINES, ARE SHOWN ON THE PLANS. THE INFORMATION SHOWN IS BELIEVED TO BE REASONABLY CORRECT AND COMPLETE. HOWEVER, NEITHER THE CORRECTNESS NOR THE COMPLETENESS OF SUCH INFORMATION IS GUARANTEED. PRIOR TO THE START OF ANY OPERATIONS IN THE VICINITY OF ANY UTILITIES, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES AND "MISS DIG" AND REQUEST THAT THEY STAKE OUT THE LOCATIONS OF THE UTILITIES IN QUESTION. COST OF REPAIR FOR ANY DAMAGED UTILITY LINES THAT IS PROPERLY STAKED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- PROTECTING UTILITIES**
SPECIAL CARE SHALL BE TAKEN IN EXCAVATING IN THE PROXIMITY OF ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL SECURE ASSISTANCE FROM THE APPROPRIATE UTILITY COMPANY IN LOCATING ITS LINES. THE CONTRACTOR SHALL ALSO: PROVIDE SUPPORT FOR ANY UTILITY WITHIN THE EXCAVATION, PROVIDE PROPER COMPACTION UNDER ANY UNDERMINED UTILITY STRUCTURE AND, IF NECESSARY, INSTALL TEMPORARY SHEETING OR USE A TRENCH BOX TO MINIMIZE THE EXCAVATION. THE CONTRACTOR SHALL PROTECT AND SAVE HARMLESS FROM DAMAGE ALL UTILITIES, WHETHER PRIVATELY OR PUBLICLY OWNED, ABOVE OR BELOW GROUND SURFACE, WHICH MAY BE ENCOUNTERED DURING CONSTRUCTION, AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL PROVIDE ADEQUATE SUPPORT FOR UTILITY POLES AS NECESSARY.
- SAFETY**
THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS AND REGULATIONS GOVERNING THE FURNISHING AND USE OF SAFEGUARDS, SAFETY DEVICES AND PROTECTION EQUIPMENT. THE CONTRACTOR SHALL TAKE ANY NECESSARY PRECAUTIONS TO PROTECT THE LIFE AND HEALTH OF EMPLOYEES AND THE PUBLIC IN THE PERFORMANCE OF THE WORK.
- SOIL EROSION & SEDIMENTATION CONTROL**
THE CONTRACTOR SHALL PROVIDE TEMPORARY SOIL EROSION CONTROL MEASURES PER P.A. 451 AS AMENDED. THE CONTRACTOR SHALL MEET WITH THE SOIL EROSION CONTROL OFFICER BEFORE STARTING CONSTRUCTION TO REVIEW THE TEMPORARY SOIL EROSION CONTROL MEASURES AND REQUIREMENTS. THE SOIL EROSION MEASURES SHOWN ARE THE MINIMUM CONTROLS TO BE USED ON THIS PROJECT. THE CONTRACTOR SHALL INSTALL ADDITIONAL TEMPORARY AND PERMANENT SOIL EROSION CONTROL MEASURES TO PROTECT THE DISTURBED AREAS AND ADJACENT PROPERTIES FROM ACCELERATED EROSION AND SEDIMENTATION RESULTING FROM PROJECT CONSTRUCTION, IF DIRECTED BY THE ENGINEER OR SOIL EROSION CONTROL OFFICER, AT NO ADDITIONAL COST TO THE PROJECT. NO EXCAVATION WORK MAY PROCEED UNTIL THE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ARE IN PLACE. ALL WORK MUST BE IN ACCORDANCE WITH THE APPROVED PERMIT FROM THE GRAND TRAVERSE COUNTY SOIL EROSION AND SEDIMENTATION CONTROL OFFICE.
- PROPERTY CORNERS**
EXISTING KNOWN PROPERTY CORNERS ARE IDENTIFIED ON THE PLANS. IF A PROPERTY CORNER IS DISTURBED DURING CONSTRUCTION IT SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE BY A PROFESSIONAL LAND SURVEYOR.
- SURVEY DATUM**
ALL ELEVATIONS ARE BASED ON N.A. V.D., 1988, UNLESS OTHERWISE SPECIFIED.
- RESTORATION WORK**
ALL DISTURBED AREAS SHALL BE TOPSOILED, SEEDED, FERTILIZED AND MULCHED. MULCH BLANKET SHALL BE INSTALLED IN AREAS AS DESIGNATED AND SHALL BE INCIDENTAL TO OTHER ITEMS. ALL EXCESS TOPSOIL WILL REMAIN WITHIN THE PROPERTY OWNER'S AREA. THE CONTRACTOR SHALL REPAIR ALL WASHOUTS AND EROSION DURING THE GUARANTEE PERIOD OF ONE (1) YEAR AT NO ADDITIONAL COST TO THE OWNER.
- REMOVAL ITEMS**
THE CONTRACTOR SHALL RESTORE ALL LAWNS, LANDSCAPE PLANTINGS, SIDEWALKS, COMMERCIAL SIGNS, ETC., AS REQUIRED, UNLESS SPECIFICALLY NOTED FOR REMOVAL ON THE PLANS. ALL SIDEWALKS, DRIVES, CULVERTS, DRAINAGE STRUCTURES, ABOVE GRADE UTILITIES, ETC., SHALL BE PROTECTED. ALL SUCH ITEMS DAMAGED OR DESTROYED DURING CONSTRUCTION SHALL BE REMOVED AND REPLACED WITH NEW BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- CONSTRUCTION SIGNAGE & TRAFFIC CONTROL**
LOCAL TRAFFIC AND CONSTRUCTION SIGNAGE SHALL BE MAINTAINED AT ALL TIMES ACCORDING TO THE APPROVED PERMIT BY THE GRAND TRAVERSE COUNTY ROAD COMMISSION, AND ANY ASSOCIATED PERMIT CONDITIONS.
- DUST CONTROL**
THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING DUST ON THIS PROJECT THROUGH THE USE OF WATER TRUCKS OR DUST PALLIATIVE. PAYMENT FOR DUST CONTROL SHALL BE INCLUDED IN THE LUMP SUM CONTRACT AND SHALL NOT BE PAID SEPARATELY. DUST SHALL BE CONTINUOUSLY CONTROLLED TO THE SATISFACTION OF THE OWNER.
- PROTECTIVE FENCE**
THE CONTRACTOR IS RESPONSIBLE FOR ALL SITE SECURITY. THE CONTRACTOR SHALL PROVIDE, INSTALL AND MAINTAIN A TEMPORARY PROTECTIVE SNOW FENCE AROUND ALL OPEN TRENCH EXCAVATIONS THAT ARE LEFT OPEN OVERNIGHT OR ANY OTHER UNSAFE AREAS ON SITE THAT REQUIRE PUBLIC PROTECTION.
- EXCESS MATERIALS**
ALL EXCESS MATERIALS SHALL BE DISPOSED OF BY THE CONTRACTOR OFF OF THE SITE UNLESS OTHERWISE NOTED OR APPROVED BY THE OWNER. ALL REMOVALS AND TRANSPORTATION OF THE REMOVED MATERIALS SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND ALL LOCAL, STATE AND FEDERAL LAWS.
- SAWCUTTING PAVEMENT**
SAWCUT EXISTING PAVEMENT TO THE LIMITS OF CONSTRUCTION OR AS DIRECTED BY THE ENGINEER. IF THE EDGE IS DAMAGED SUBSEQUENT TO SAWCUTTING, THE EDGE SHALL BE RE-cut AT NO ADDITIONAL COST TO THE OWNER.
- DEWATERING**
ANY REQUIRED DEWATERING FOR SITE WORK, INCLUDING THE USE OF STONE OR GRAVEL FOR DEWATERING PURPOSES, WILL NOT BE PAID FOR SEPARATELY BUT SHALL BE INCLUDED IN THE LUMP SUM CONTRACT.
- UTILITY SEPARATION**
MAINTAIN REQUIRED ISOLATION DISTANCES FROM PROPOSED UTILITIES LIVE WELLS, SEPTIC FIELDS, STORM BASINS, ETC.
- RECYCLING**
THE CONTRACTOR IS ENCOURAGED TO RECYCLE ANY MATERIALS OR PRODUCTS THAT ARE REUSABLE OR CAPABLE OF BEING RECYCLED.

GENERAL GRADING CONSTRUCTION NOTES:

- QUALITY OF WORK**
ALL CONSTRUCTION WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE CURRENT M.D.O.T. STANDARD SPECIFICATIONS FOR CONSTRUCTION AND DETAILS.
- SUBGRADE PREPARATION**
THE PRESENCE OF OTHER THAN GRANULAR MATERIALS IN THE SUBGRADE SOIL SHALL REQUIRE A FULL WIDTH, FIFTEEN INCH, GRANULAR SUB-BASE, M.D.O.T. CLASS II OR EQUIVALENT, PREPARED SUBGRADE WIDTH, DEPTH AND COMPACTION MUST BE REVIEWED AND/OR TESTED PRIOR TO PLACEMENT OF GRAVEL.
- AGGREGATE BASE MATERIAL**
AGGREGATE BASE TO BE USED ON THE PROJECT MUST MEET SPECIFICATION FOR M.D.O.T. 22A AND MUST BE TESTED AND APPROVED PRIOR TO PLACEMENT. AGGREGATE BASE PLACEMENT MUST COMPLY WITH SECTION 3.01 OF THE CURRENT M.D.O.T. STANDARD SPECIFICATIONS FOR CONSTRUCTION. PREPARED AGGREGATE BASE WIDTH, DEPTH AND COMPACTION MUST BE REVIEWED AND TESTED PRIOR TO THE PLACEMENT OF BITUMINOUS SURFACE.
- BITUMINOUS PAVEMENT (HMA)**
THE CONTRACTOR SHALL GIVE THE OWNER'S REPRESENTATIVE 48 HOURS' NOTICE PRIOR TO PLACEMENT OF BITUMINOUS SURFACE. BITUMINOUS PAVING MUST BE PERFORMED IN ACCORDANCE WITH CURRENT M.D.O.T. STANDARD SPECIFICATIONS FOR CONSTRUCTION.
- REMOVAL OF ORGANICS**
ALL TREES, STUMPS, BRUSH AND ROOTS THEREOF, SHALL BE ENTIRELY REMOVED FROM WITHIN THE ROADWAY GRADING.
- ROADWAY GRADING**
ALL DISTURBED AREAS SHALL BE TOPSOILED, SEEDED, FERTILIZED AND MULCHED. THE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING GROUND COVER ON AREAS DISTURBED BY CONSTRUCTION.
- FIELD CHANGES**
ANY CHANGES IN SPECIFICATIONS OR CONSTRUCTION METHODS MUST BE REVIEWED AND APPROVED BY THE ENGINEER AND OWNER, AND MUST NOT CONFLICT WITH APPROVED PERMITS.
- DRAINAGE**
EXISTING STORM DRAINAGE DITCHES SHALL BE REBUILT IF FILLED IN OR REMOVED DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO REPAIR OR REPLACE, AS REQUIRED, ALL DRAINAGE CULVERTS OR STRUCTURES DAMAGED DURING CONSTRUCTION AND SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT.

GENERAL SANITARY SEWER CONSTRUCTION NOTES:

- STANDARDS**
ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE TOWNSHIP'S CURRENT STANDARDS, SPECIFICATIONS AND DETAILS (2008 GRAND TRAVERSE COUNTY TECHNICAL SPECIFICATIONS).
- CONNECTIONS**
NO CONNECTION RECEIVING STORM WATER OR GROUNDWATER SHALL BE MADE TO SANITARY SEWERS.
- DATUM**
ALL ELEVATIONS SHALL BE BASED ON USGS OR NAVD DATUM.
- DETAILS**
PIPE BEDDING, BUILDING SEWERS, DROP CONNECTIONS, BULKHEADS, MANHOLES, MANHOLE COVERS, AND OTHER APPURTENANCES SHALL BE IN ACCORDANCE WITH THE STANDARD DETAILS.
- PUBLIC EASEMENTS**
EACH PUBLIC UTILITY SHALL BE WITHIN ITS OWN 20'-WIDE EASEMENT CENTERED ON THE UTILITY
- PRIVATE EASEMENTS**
ALL PRIVATE UTILITIES SHALL BE WITHIN A 10'-WIDE EASEMENT ADJACENT TO THE PROPOSED RIGHT-OF-WAY
- SANITARY SEWER LEADS**
ALL SANITARY SEWER LEADS WITHIN THE 50' ISOLATION DISTANCE OF THE PROPOSED WELLS SHALL BE SCHEDULE 40 PVC. SDR 35 MAY ONLY BE USED ON THE SANITARY SEWER LEADS IF THEY ARE A MINIMUM OF 50' FROM THE PROPOSED WELL.
- SANITARY SEWER MAINS**
ALL PROPOSED SANITARY SEWER MAINS GREATER THAN 16" DEEP ARE REQUIRED TO BE TRUSS PIPE.

GENERAL STORM SEWER CONSTRUCTION NOTES:

- CONSTRUCTION STANDARDS**
ALL MATERIALS, CONSTRUCTION, METHODS, TESTING AND INSPECTION SHALL BE IN ACCORDANCE WITH THE CURRENT M.D.O.T. STANDARD SPECIFICATIONS FOR CONSTRUCTION UNLESS OTHERWISE SPECIFIED.
- CONNECTIONS**
NO STORM SEWER CONNECTIONS SHALL BE MADE TO SANITARY SEWERS.
- STRUCTURE ADJUSTMENTS**
THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING CATCH BASIN AND/OR MANHOLE RIMS TO THE FINISH GRADE ELEVATIONS. THE LOCATIONS AND ELEVATIONS SHOWN ARE BASED UPON PLAN GRADES AND ARE SUBJECT TO CHANGE.

UNIT AND PROJECT AREA CALCULATIONS

Name	Area s.f.	Area Acre
UNIT 1	43007.57	0.99
UNIT 1 BEACH PARK	8152.61	0.19
UNIT 2	30823.95	0.71
UNIT 3	29959.74	0.69
UNIT 4	33222.85	0.76
UNIT 5	32629.91	0.75
UNIT 6	20469.41	0.47
UNIT 7	12173.16	0.28
UNIT 8	13171.49	0.30
UNIT 9	12650.69	0.29
UNIT 10	11633.17	0.27
UNIT 11	18631.93	0.43
UNIT 12	25170.13	0.58
UNIT 13	26672.88	0.61
UNIT 14	26977.36	0.62
UNIT 15	25876.46	0.59
UNIT 16	24803.85	0.57
UNIT 17	23610.54	0.54
UNIT 18	22696.32	0.52
UNIT 19	22712.45	0.52
UNIT 20	22696.57	0.52
UNIT 21	22570.25	0.52
UNIT 22	23174.66	0.53
UNIT 23	24117.93	0.55
UNIT 24	24391.63	0.56
UNIT 25	25595.44	0.59
UNIT 26	27893.42	0.62
UNIT 27	27849.91	0.64
UNIT 28	28777.77	0.66
UNIT 29	33155.2	0.76
UNIT 30	25959.2	0.60
UNIT 31	23002.82	0.53
UNIT 32	24392.44	0.56
UNIT 33	24670.4	0.57
UNIT 34	24768.97	0.57
UNIT 35	24867.54	0.57
UNIT 36	24966.11	0.57
UNIT 37	25064.67	0.58
UNIT 38	26646.52	0.61
UNIT 39	26018.55	0.60
UNIT 40	27522.51	0.63
UNIT 41	28272.03	0.65
Unit Totals	1006601.03	23.66

Name	Area s.f.	Area Acres
PUD to OHWM	3599437.56	82.63
Boursaw Rd.	10666.39	0.24
Prop. Grass Beach Parking	6615.00	0.15
Prop. 81 Ave. and 81 East	185900.14	4.27
Exit, Asph. Driveway	1331.26	0.03
Exit, Gravel Driveway	2219.79	0.05
(41) Units	1030601.03	23.66
Open Space	2362203.95	54.23

Non-Open Space	1237233.61	28.40
		Open Space 65.63%
		Non-Open Space 34.37%

SURROUNDING PARCEL INFORMATION

Tax ID	Owner	Parcel Address	Current Zoning	Current Use
28-11-110-033-55	KRUPKA FRANCES A TRUST	16100 SMOKEY HOLLOW RD TRVERSE CITY, MI 49686	AG	Residential/Farm
28-11-115-001-00	WALLS TERRY L & REBECCA B	15966 SMOKEY HOLLOW RD TRVERSE CITY, MI 49686	AG	Residential/Farm
28-11-115-002-03	ROBINSON NIGEL & SUSANNE	17476 FARMCREST LN NORTHVILLE, MI 48167	R-1A	Vacant
28-11-115-002-02	ROBINSON NIGEL & SUSANNE	17476 FARMCREST LN NORTHVILLE, MI 48167	R-1A	Vacant
28-11-115-002-01	RENOVATION PARTNERS LLC	P.O. BOX 467 ROYAL OAK, MI 48068	R-1A	Residential
28-11-115-002-00	ISBITUN ROBERT P & KADEE	1744 WEST WASHINGTON AVE CHICAGO, IL 60687	R-1A	Residential
28-11-115-011-20	MCWANNIS NATHANIEL S & COURTNEY ERIN	15712 SMOKEY HOLLOW RD TRVERSE CITY, MI 49686	R-1A	Residential
28-11-115-011-30	BURKS SHAWN C & JULIE A	15688 SMOKEY HOLLOW RD TRVERSE CITY, MI 49686	R-1A	Residential
28-11-645-012-00	ROBINSON CAROL J	6783 CREAM RD WILLIAMSBURG, MI 49690	R-1B	Vacant
28-11-645-011-00	ROBINSON CAROL J	6783 CREAM RD WILLIAMSBURG, MI 49690	R-1B	Vacant
28-11-115-011-00	SEBEL LINDA S	15660 SMOKEY HOLLOW RD TRVERSE CITY, MI 49686	R-1B	Residential
28-11-645-005-00	WOLF DANIEL L & CAROL T	15588 SMOKEY HOLLOW CT WYOM, MI 48393	R-1B	Vacant
28-11-645-005-00	DAWSON JESSICA C & SCOTT D	3991 BOURSAY RD TRVERSE CITY, MI 49686	R-1B	Residential
28-11-473-013-00	SCHULTZ GREGORY T & GINGER M	3877 SMOKEY COVE DR TRVERSE CITY, MI 49686	AG	Vacant
28-11-473-012-00	SCHULTZ CONSTRUCTION & REMODELING	3877 SMOKEY COVE DR TRVERSE CITY, MI 49686	R-1B	Vacant
28-11-473-011-00	VELIQUETTE GENE B & LINDA C	8369 ELK LAKE RD WILLIAMSBURG, MI 49690	R-1B	Vacant
28-11-114-006-01	REDMOND RICHARD L & LESLIE J	15480 OLD BLUFF TRL TRVERSE CITY, MI 49686	R-1B	Residential
28-11-114-001-10	BOURSAY BRYCE	14991 BLUFF RD TRVERSE CITY, MI 49686	R-1A	Residential
28-11-114-003-00	ROETHLISBERGER DWIE	15532 BLUFF RD TRVERSE CITY, MI 49686	R-1A	Residential
28-11-114-004-00	CURRAN RICHARD E & CHRISTINE	15618 BLUFF RD TRVERSE CITY, MI 49686	R-1A	Residential
28-11-111-021-40	KOMENDERA JANE C TRUST	1260 SUNNYWOOD PL ROCHESTER, MI 48306	R-1A	Residential
28-11-647-004-00	LEWIS FAMILY LLC	640 HACKMORE DR EAGAN, MN 55123	R-1A	Residential

Owner information and current use provided here has been taken from the Grand Traverse County GIS Website on 6-9-14

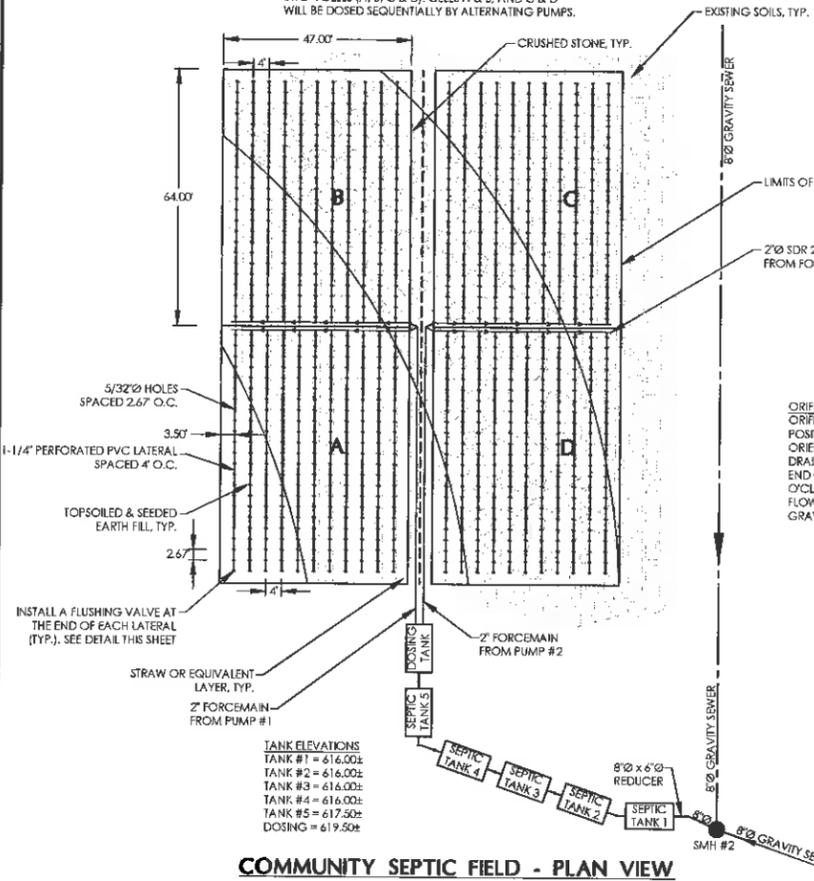
830 Comptons Dr., Ste. 201
P.O. Box 4015
Traverse City, MI 49685
Phone: 231-946-9310
www.mansfield.com
info@mansfield.com

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Land Use Consultants

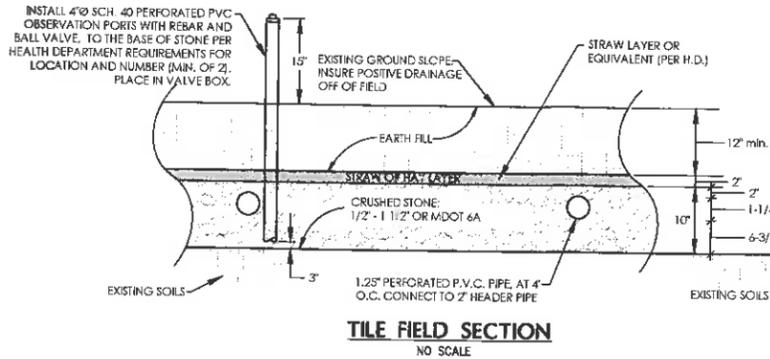
DATE	BY	DESCRIPTION
13-07-2013	dim	Issue Emergency Access
14-02-14-13	dim	Alternate Emergency Access
15-02-27-13	dim	Alternate Emergency Access
16-12-14-13	dim	Community Specific Road Layout
17-01-16-14	dim	Water Storage Tank
18-01-26-14	dim	Construction Plan Updates
19-01-29-14	dim	Open Space Calculation Updates
20-02-27-14	dim	Permit & Exp. Statement

The 81 Development Company, LLC
The 81 on East Bay - PUD
NOTE SHEET
Section 14, Town 29 North, Range 10 West
Peninsula Twp., Grand Traverse County, Michigan

NOTE:
THE PROPOSED 12,032 SFT ABSORPTION FIELD IS DIVIDED INTO 4 CELLS (A, B, C & D). CELLS A & B, AND C & D WILL BE Dosed SEQUENTIALLY BY ALTERNATING PUMPS.



COMMUNITY SEPTIC FIELD - PLAN VIEW
SCALE: 1"=20'



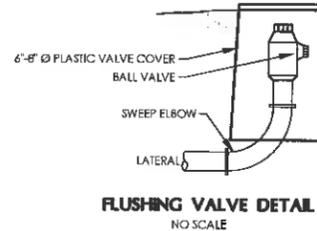
TILE FIELD SECTION
NO SCALE

SEPTIC SYSTEM CONSTRUCTION

- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP MUST CONFORM WITH THE GRAND TRAVERSE COUNTY HEALTH DEPARTMENT CURRENT STANDARDS, SPECIFICATIONS AND DETAILS AND THE APPROVED HEALTH DEPARTMENT AND MDEQ PERMITS, UNLESS OTHERWISE APPROVED.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER 48 HOURS PRIOR TO THE START OF CONSTRUCTION OF THE SEPTIC SYSTEM. THE CONTRACTOR SHALL ISSUE A WORK SCHEDULE TO THE ENGINEER PRIOR TO THE START OF SEPTIC SYSTEM CONSTRUCTION.
- NO CONNECTION RECEIVING STORM WATER OR GROUND WATER SHALL BE MADE TO THE SEPTIC SYSTEM.
- ALL PIPES MUST BE SDR 21 OR EQUIVALENT (FROM DOSING CHAMBER TO ABSORPTION FIELD).
- ALL PIPE JOINTS MUST BE TIGHTLY GLUED & SEALED.
- THE SEPTIC SYSTEM SHALL BE A MINIMUM OF 4' ABOVE EXISTING GROUND WATER TABLE.
- CONTROL PANEL PLACEMENT SHALL BE PER THE OWNER AND SYSTEM MAINTENANCE CONTRACTOR. THE CONSTRUCTION CONTRACTOR IS TO WORK WITH THE PUMP SUPPLIER AND ENGINEER TO INSURE PROPER PUMP AND CHAMBER INTERFACE.
- ALL TANK RISERS SHALL BE INSTALLED WATER TIGHT.
- THE CONTRACTOR SHALL FOLLOW MANUFACTURERS' RECOMMENDATIONS DURING INSTALLATION OF THE PUMP CHAMBER/PUMPS/CONTROL PANEL AND SEPTIC FIELD.
- THE SANITARY SEWER EASEMENT WILL BE THE ACCESS ROUTE FROM 81 AVE. FOR PERMANENT MAINTENANCE OF THE SYSTEM. THE GRAVITY SEWER BELOW THE ACCESS ROUTE SHALL HAVE 100% SAND BACKFILL COMPACTED AT 95% AND A MINIMUM OF 12 FEET WIDE. UP TO THE TOPSOIL GRADE. THE ACCESS ROUTE SHALL HAVE A GRASS SURFACE AND SHALL BE CENTERED WITHIN THE EASEMENT. THE ACCESS ROUTE SHALL BE ABLE TO SUPPORT SEPTIC PUMPING TRUCKS AND SIMILAR MAINTENANCE VEHICLES AND EQUIPMENT.

PUMP SYSTEM COMPONENTS

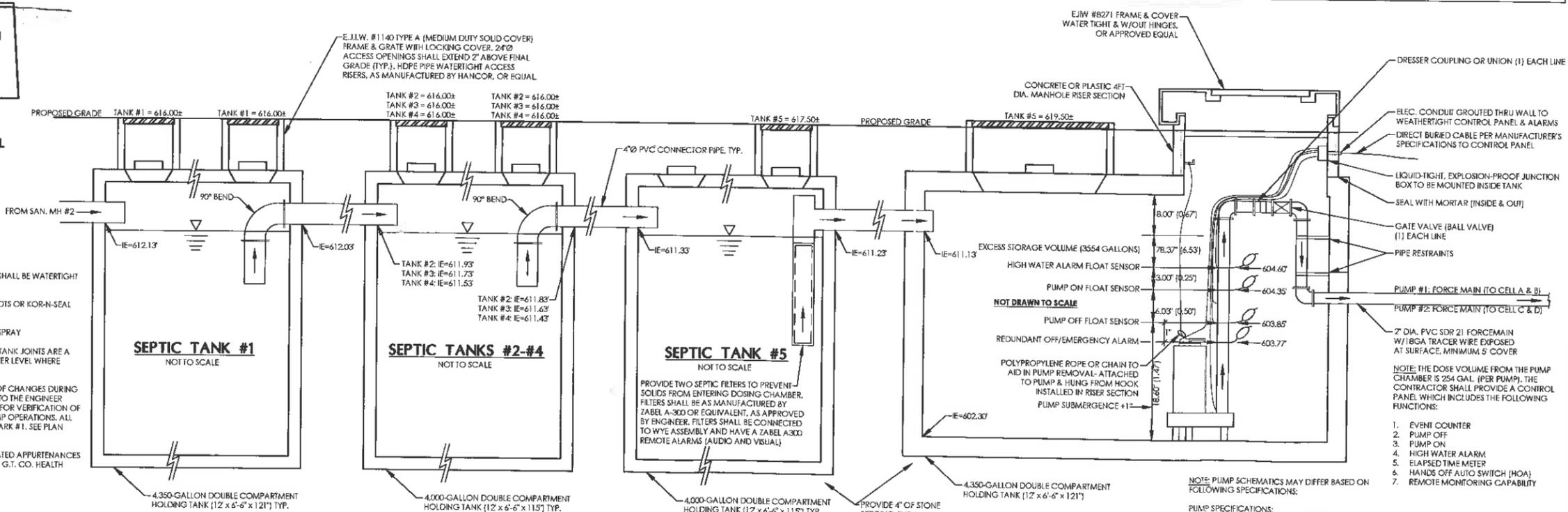
- PUMP CHAMBER = 4,350 GAL
- DOSE = 254 GAL (PER PUMP)
- DISCHARGE PER ORIFICE = (127 GAL / 253 ORIFICES) = 0.50 GAL/ORIFICE/DOSE
- DISCHARGE PER SFT AREA = (3,008 SFT / 253 ORIFICES) = 11.89 SFT/ORIFICE (1-1/2 SFT)
- PUMP REQUIREMENTS: 137 GPM @ 27.33' HEAD, 2 HP AND THE FOLLOWING:
- NON-CLOGGING & NON-JAMMING, DESIGNED SPECIFICALLY FOR THE SPECIFIC PURPOSE OF PUMPING DOMESTIC WASTEWATER EFFLUENT.
- BUILT-IN AUTOMATIC RESET OVERLOAD PROTECTION.
- ANTI-SIPHON VALVE SHALL BE INTEGRAL WITH THE PUMP.
- PROVIDE NON-FOULING LEVEL SENSING CONTROL WITH NO MOVING PARTS IN CONTACT WITH ANY EFFLUENT.
- PROVIDE HIGH LEVEL AUDIBLE AND VISUAL WARNING ALARM FOR HIGH WET WELL LEVEL.
- A BATTERY BACKUP SYSTEM IS RECOMMENDED
- THE PUMP/PIPING SYSTEM SHALL BE SET UP TO ALLOW FOR FLUSHING OF THE SYSTEM.
- THE PUMP ELECTRICAL SHALL MEET ALL STATE AND LOCAL ELECTRICAL CODES
- PUMPS AND VALVES SHALL BE FITTED WITH UNIONS, VALVES AND ELECTRICAL CONNECTIONS NECESSARY FOR EASY PUMP REMOVAL AND REPAIR FROM THE GROUND SURFACE.
- THE PUMP CONTROLS SHALL HAVE REMOTE MONITORING CAPABILITIES.



FLUSHING VALVE DETAIL
NO SCALE

TANK GENERAL NOTES:

- ALL CONCRETE PUMP CHAMBERS AND TANKS SHALL BE WATERTIGHT WITH THE FOLLOWING:
 - CAST-IN-PLACE WITH WATERTIGHT FERROCEMENT BOOTHS OR KOR-NEAL RUBBER WATERSTOP OR EQUAL
 - CAST-IN-PLACE WITH WATERPROOFING AGENT
 - OWNER OPTIONAL: SPRAYED-ON SHEET ROCK SPRAY
- ALL TANKS SHALL BE INSTALLED SUCH THAT THE TANK JOINTS ARE A MINIMUM OF 1 FOOT ABOVE THE GROUNDWATER LEVEL WHERE POSSIBLE.
- ACTUAL ELEVATIONS MAY VARY AS A RESULT OF CHANGES DURING CONSTRUCTION. CONTRACTOR SHALL SUPPLY TO THE ENGINEER ACTUAL LOCATION WITH ELEVATIONS IN FIELD FOR VERIFICATION OF DOSING VOLUMES, PUMP CONTROLS AND PUMP OPERATIONS. ALL ELEVATIONS ARE REFERENCED FROM BENCH MARK #1. SEE PLAN SHEET FOR THE LOCATION OF BENCH MARK #1.
- DOSING TANK, SEPTIC TANKS AND ALL ASSOCIATED APPURTENANCES SHALL BE PER THE APPROVED PERMIT FROM THE G.T. CO. HEALTH DEPARTMENT AND THE MDEQ.



SEPTIC/DOSING TANK DETAIL
NO SCALE

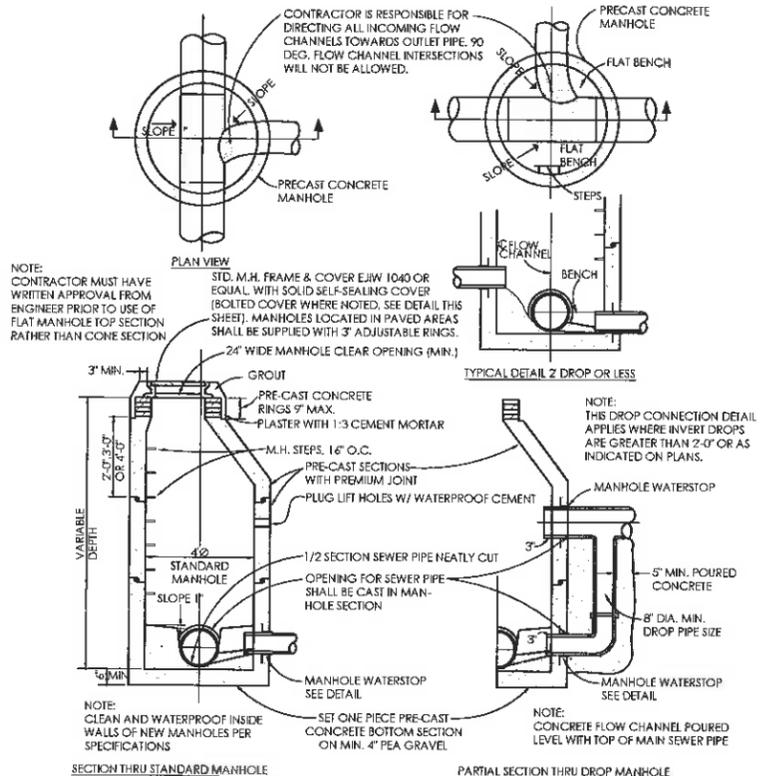
830 Cottageview Dr., Ste. 201
Troy, MI 48065
Phone: 248-346-5110
www.mansfield.com
info@mansfield.com

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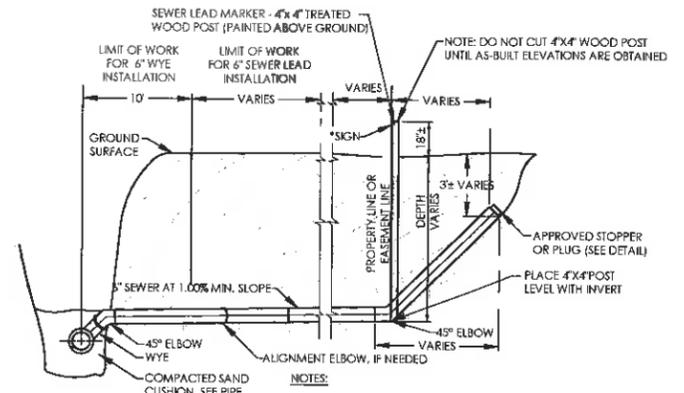
NO.	DATE	BY	DESCRIPTION
1	07-20-11	mm	Issue
2	07-20-11	mm	Revised Emergency Access
3	07-20-11	mm	Revised Emergency Access
4	07-20-11	mm	Revised Emergency Access
5	07-20-11	mm	Revised Emergency Access
6	07-20-11	mm	Revised Emergency Access
7	07-20-11	mm	Revised Emergency Access
8	07-20-11	mm	Revised Emergency Access
9	07-20-11	mm	Revised Emergency Access
10	07-20-11	mm	Revised Emergency Access
11	07-20-11	mm	Revised Emergency Access
12	07-20-11	mm	Revised Emergency Access
13	07-20-11	mm	Revised Emergency Access
14	07-20-11	mm	Revised Emergency Access
15	07-20-11	mm	Revised Emergency Access
16	07-20-11	mm	Revised Emergency Access
17	07-20-11	mm	Revised Emergency Access
18	07-20-11	mm	Revised Emergency Access
19	07-20-11	mm	Revised Emergency Access
20	07-20-11	mm	Revised Emergency Access

The 81 Development Company, LLC
The 81 on East Bay - PUD
CIVIL DETAILS - SEPTIC SYSTEM
Section 14, Town 29 North, Range 10 West
Peninsula Twp., Grand Traverse County, Michigan

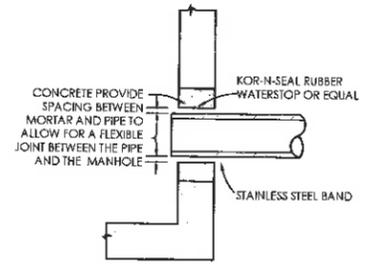
CONSTRUCTION	
DATE	08.05.14
NO.	14016
REV.	C1.3



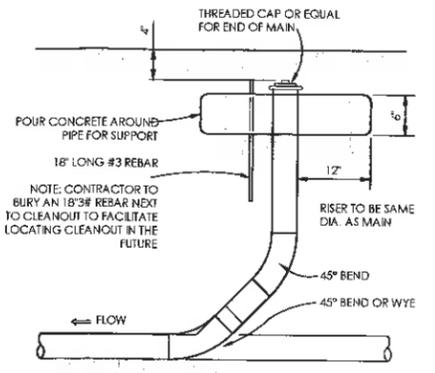
STANDARD SANITARY MANHOLE DETAIL
NO SCALE



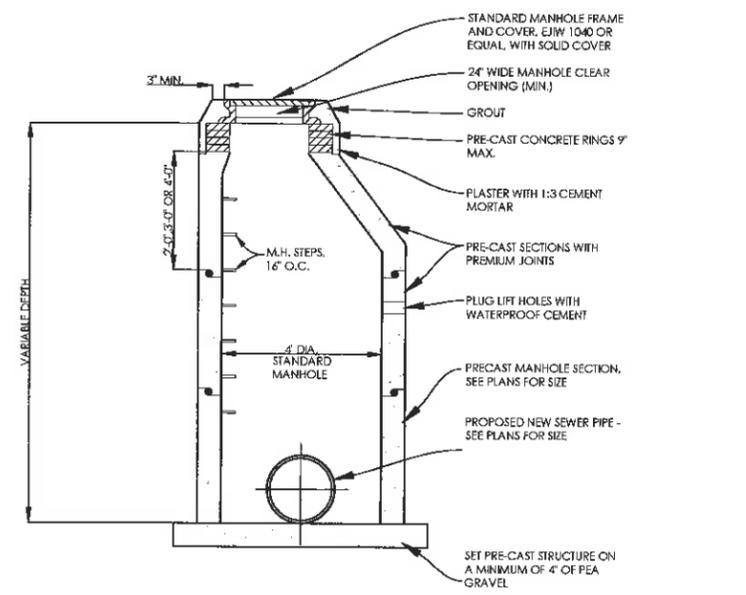
WYE AND SEWER LEAD INSTALLATION DETAIL
NO SCALE



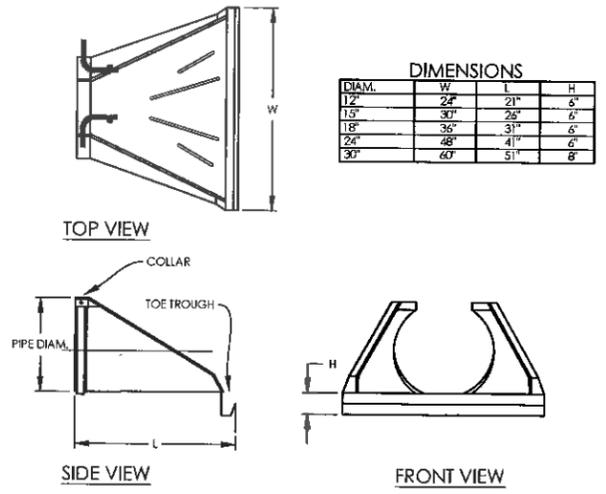
WATERSTOP DETAIL
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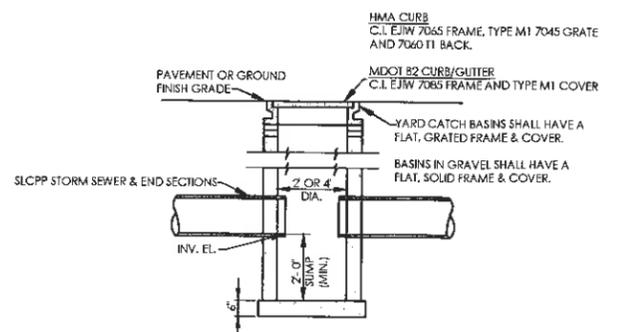
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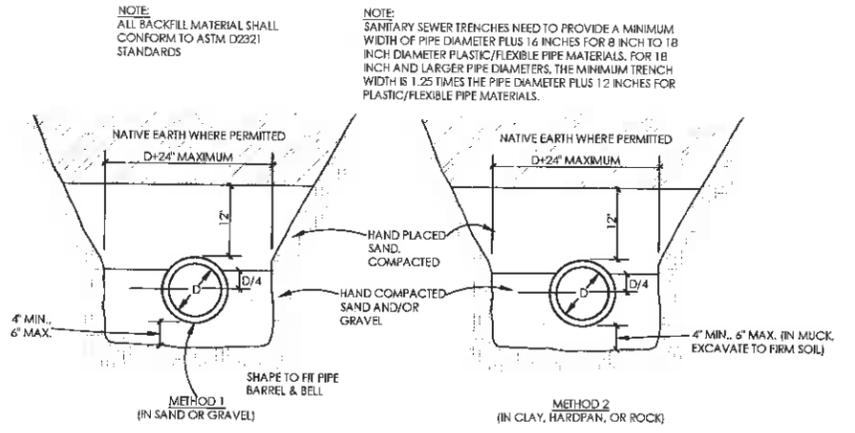
4 FT. DIA. STORM MANHOLE DETAIL
NO SCALE



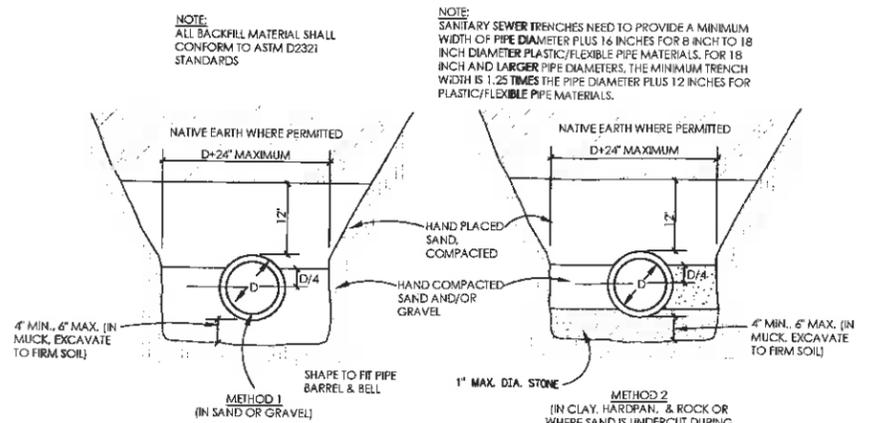
CMP FLARED END SECTION DETAIL
NO SCALE



2 OR 4 FT. DIA. CATCH BASIN DETAIL
NO SCALE



PIPE BEDDING - CLASS A DETAIL
NO SCALE



PIPE BEDDING - CLASS B DETAIL
NO SCALE

830 Cottageview Dr., Ste. 201
Traverse City, MI 49685
Phone: 231-946-5510
www.mansfield.com
info@mansfield.com

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Land Use Consultants

REV	DATE	BY	CHK	DESCRIPTION
13	07-05-15	dm	mm	Revised Emergency Access
14	07-14-15	dm	mm	Alternate Emergency Access
15	07-27-15	dm	mm	Alternate Emergency Access
16	12-14-15	dm	mm	Community Traffic Field Layout
17	01-19-16	dm	mm	Water Storage Tank
18	01-29-16	dm	mm	Construction Plan Updates
19	01-29-16	dm	mm	Open Space Calculation Updates
20	02-03-16	dm	mm	Final E. Top. Submittal

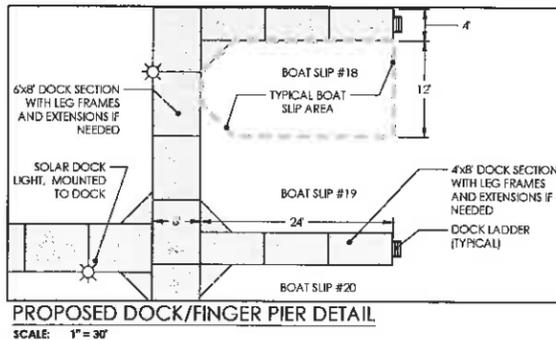
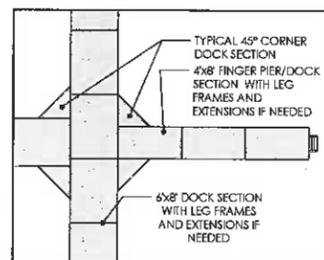
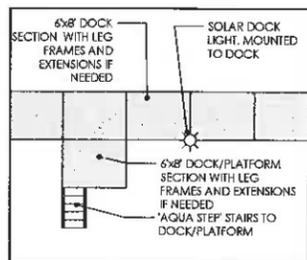
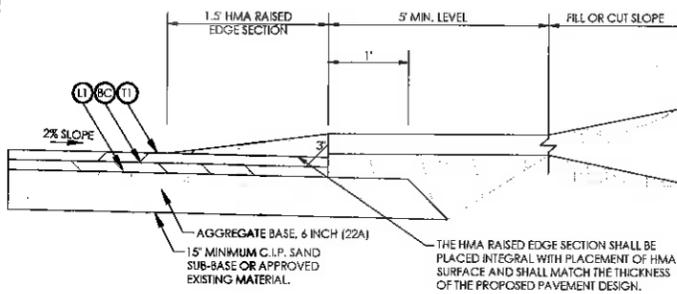
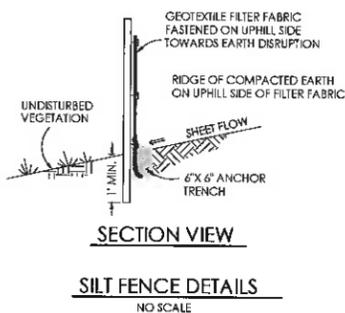
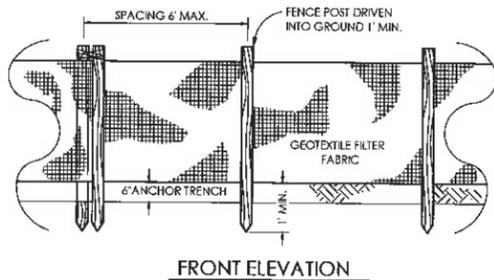
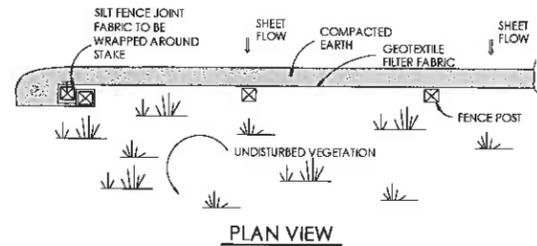
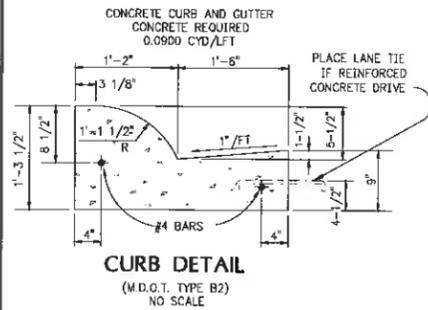
The 81 Development Company, LLC
The 81 on East Bay - PUD
CIVIL DETAILS - STORM & SANITARY SEWER
Section 14, Town 29 North, Range 10 West
Peninsula Twp., Grand Traverse County, Michigan

CONSTRUCTION

DATE: 03.05.14

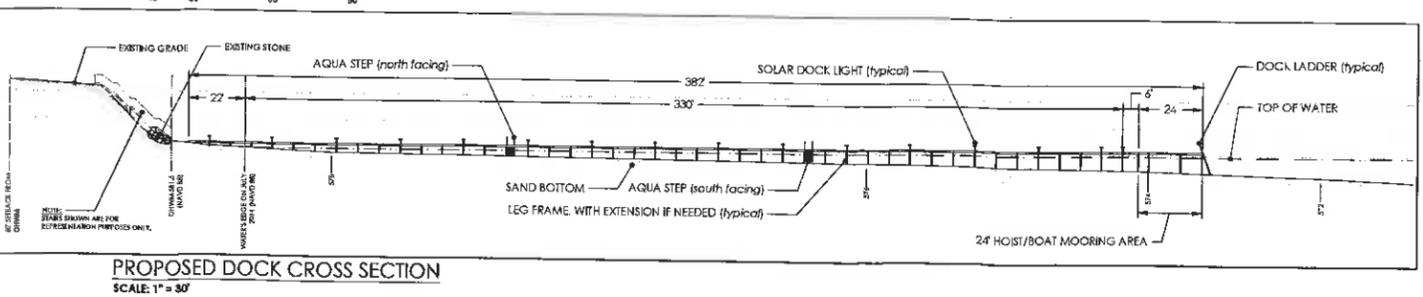
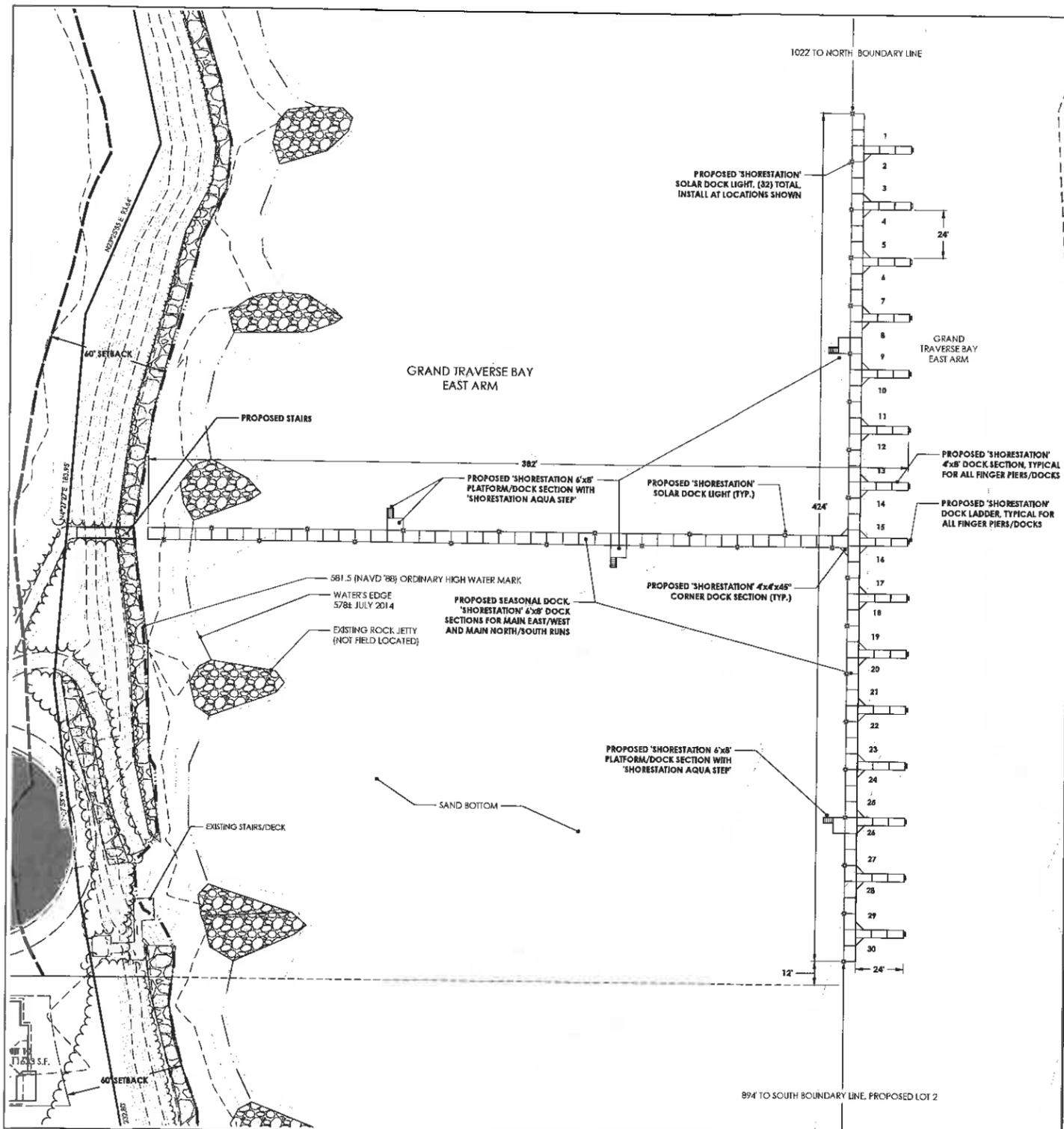
14016

C1.4



DOCK NOTES:

1. Provided: 30 Boat slips between finger piers/docks.
2. Proposed SHORESTATION (brand), seasonal dock extending up to existing deck.
Main Dock: 6'x8' standard aluminum dock sections
Finger Piers/Docks: 4'x8' standard aluminum dock sections
45° Angles: 45° standard left or right aluminum dock, 45° corner sections
Platforms/Docks: 6'x8' standard aluminum dock sections
Dock Ladders: Adjustable aluminum ladders located at the end of each finger pier/dock
AQUA STEP aluminum stairs with handrails for ease of access out of the water and onto the dock. The number of steps for each to be determined by dock designer.
Dock Lighting: Solar Dock light, mounted to dock, easily relocated, LED lighting has as much light as a 40 watt bulb, lighting it down cast.
3. Determining exact stair sizing, supports and extension sizing, etc. and all other items required for the proposed seasonal dock system, will be determined by a 'SHORESTATION' representative qualified to design the seasonal dock system.
4. SHORESTATION Docks are designed to be seasonal docks only. To be installed and removed after the threat of ice damage has passed. The foot pads on each of the dock legs and extensions are designed to simply rest on the lake bottom and can work in water up to 12' deep. The sections are held together by spring-loaded lever locks that can be locked and unlocked without tool.
5. All boat mooring equipment and/or hoists, will be privately owned. Permitting requirements, installation and removal of said equipment will be the responsibility of the individual owner or the association.



830 Carnegieview Dr., Ste. 201
P.O. Box 4015
Traverse City, MI 49685
Phone: 231-946-9310
www.mansfield.com
info@mansfield.com

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DATE	BY	CHK	DESC
13/07/2015	dm	dm	Revised Emergency Access
14/07/14-15	dm	dm	Alternate Emergency Access
15/07/2015	dm	dm	Alternate Emergency Access
14/12/14-15	dm	dm	Community Access Field Layout
17/01/15-16	dm	dm	Water Storage Tank
18/01/2014	dm	dm	Construction Plan Updates
19/01/2014	dm	dm	Open Space Calculation Updates
20/02/2015	dm	dm	Parcel 5, Top 3, Summary

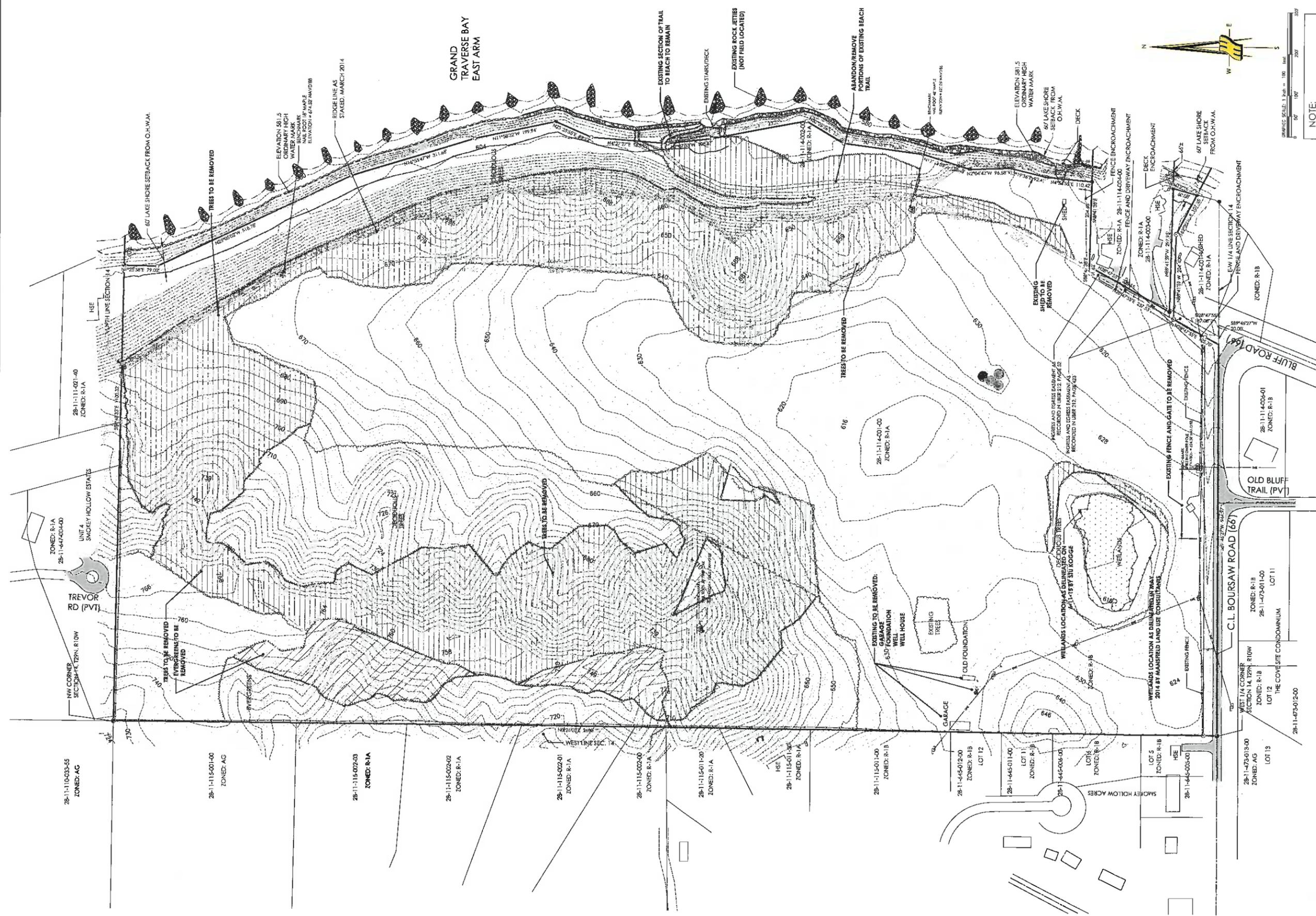
The 81 Development Company, LLC
The 81 on East Bay - PUD
CIVIL DETAILS - MISC.
Section 14, Town 29 North, Range 10 West
Peninsula Twp., Grand Traverse County, Michigan

CONSTRUCTION

DATE	BY	CHK	DESC
03/05/14	dm	dm	

14016
C1.7

As used herein, all units are in feet and inches. All bearings are in degrees, minutes and seconds. All distances are in feet and inches. All elevations are in feet above mean sea level. All areas are in square feet. All acreages are in acres. All dimensions are in feet and inches. All notes are in black text. All notes are in black text. All notes are in black text.



NOTE:
FOR SURROUNDING PARCEL
INFORMATION, SEE NOTES SHEET

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P.O. Box 4015
Traverse City, MI 49685
Phone: 231-946-9310
www.mansfield.com
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NO.	DATE	BY	DESCRIPTION
13	10/26/15	dm	Revised Emergency Access
14	07/14/15	dm	Alternate Emergency Access
15	07/14/15	dm	Alternate Emergency Access
16	12/15/15	dm	Community Traffic Field Layout
17	01/18/16	dm	Water Storage Tank
18	01/24/16	dm	Construction Firm Utilities
19	01/24/16	dm	Open Space Calculation Worksheet
20	02/01/16	dm	Final Plan & Map Submission

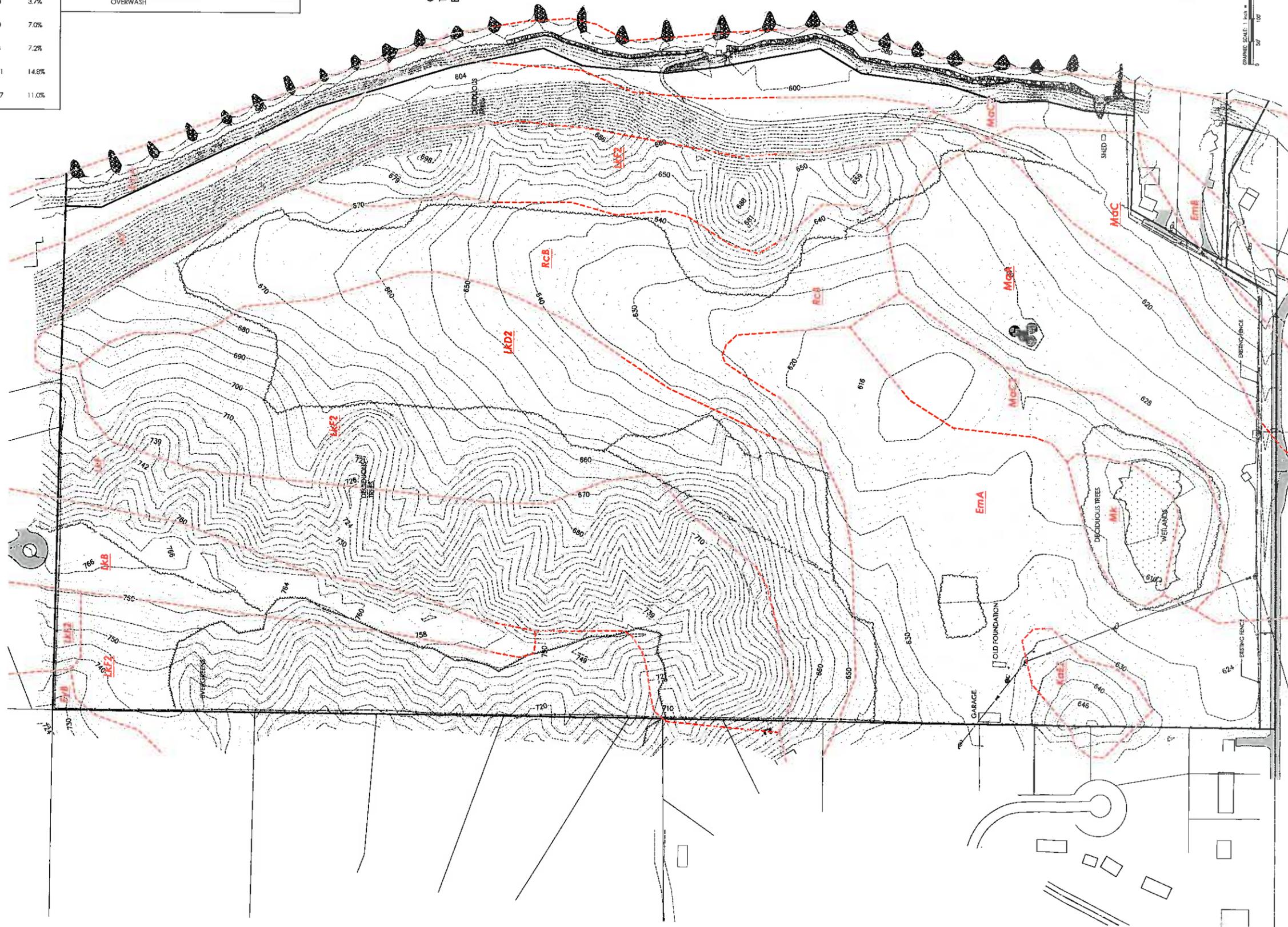
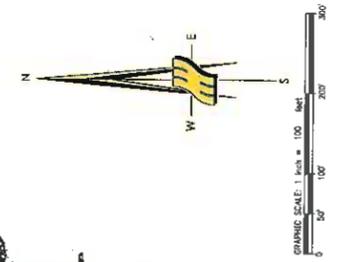
The 81 Development Company, LLC
The 81 on East Bay - PUD
EXISTING CONDITIONS & DEMOLITION PLAN
Section 14, Town 29 North, Range 10 West
Peninsula Twp., Grand Traverse County, Michigan

CONSTRUCTION
14016
C2.0

USDA SOILS DATA

TYPE	MAP UNIT NAME	AOI AC.	AOI %	TYPE	MAP UNIT NAME	AOI AC.	AOI %
EmA	EAST-LAKE-MANCELONA LOAMY SANDS 0-2% SLOPES	15.4	13.5%	MaA	MANCELONA GRAVELLY SANDY LOAM, 0-2% SLOPES	2.5	6.5%
FmB	EAST-LAKE-MANCELONA LOAMY SANDS, 2-6% SLOPES	1.1	1.0%	MaC	MANCELONA GRAVELLY SANDY LOAM, 6-12% SLOPES	2.9	2.6%
Ey8	EMMET SANDY LOAM 2-6% SLOPES	1.4	1.2%	MaC2	MANCELONA GRAVELLY SANDY LOAM, 6-12% SLOPES, MOD. ERODED	9.2	8.0%
KaE2	KALKASKA LOAMY SAND 18-25% SLOPES, MOD. ERODED	0.9	0.8%	Mk	ADRIAN MUCK, 0-1% SLOPES	1.2	1.0%
Lk8	LEELANAU-KALKASKA LOAMY SANDS, 2-6% SLOPES	4.3	3.7%	RcB	RICHTER LOAMS, 0-6% SLOPES, OVERWASH	9.6	8.3%
LkD2	LEELANAU-KALKASKA LOAMY SANDS, 18-20% SLOPES	8.0	7.0%				
LkE2	LEELANAU-KALKASKA LOAMY SANDS, 25-45% SLOPES	8.3	7.2%				
LkF	LEELANAU-KALKASKA LOAMY SANDS, 2-6% SLOPES	17.1	14.8%				
LkF2	LEELANAU-KALKASKA LOAMY SANDS, 2-6% SLOPES	12.7	11.0%				

GRAND TRAVERSE BAY EAST ARM



830 Conover Dr., Ste. 201
 Traverse City, MI 49885
 Phone: 231-946-9510
 www.mansfield.com
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REV.	DATE	BY	CHK.	DESCRIPTION
13	07-04-15	dm	dm	Revised Emergency Access
14	07-14-15	dm	dm	Alternate Emergency Access
15	07-27-15	dm	dm	Alternate Emergency Access
16	12-14-15	dm	dm	Community Septic Rebid Layout
17	01-14-16	dm	dm	Water Storage Tank
18	01-28-16	dm	dm	Construction Plan Updates
19	01-28-16	dm	dm	Open Space Calculator Updates
20	02-27-16	dm	dm	Final Permit 5, Sub 3, Symbols

The 81 Development Company, LLC
 The 81 on East Bay - PUD
 SOILS MAP
 Section 14, Town 29 North, Range 10 West
 Peninsula Twp., Grand Traverse County, Michigan

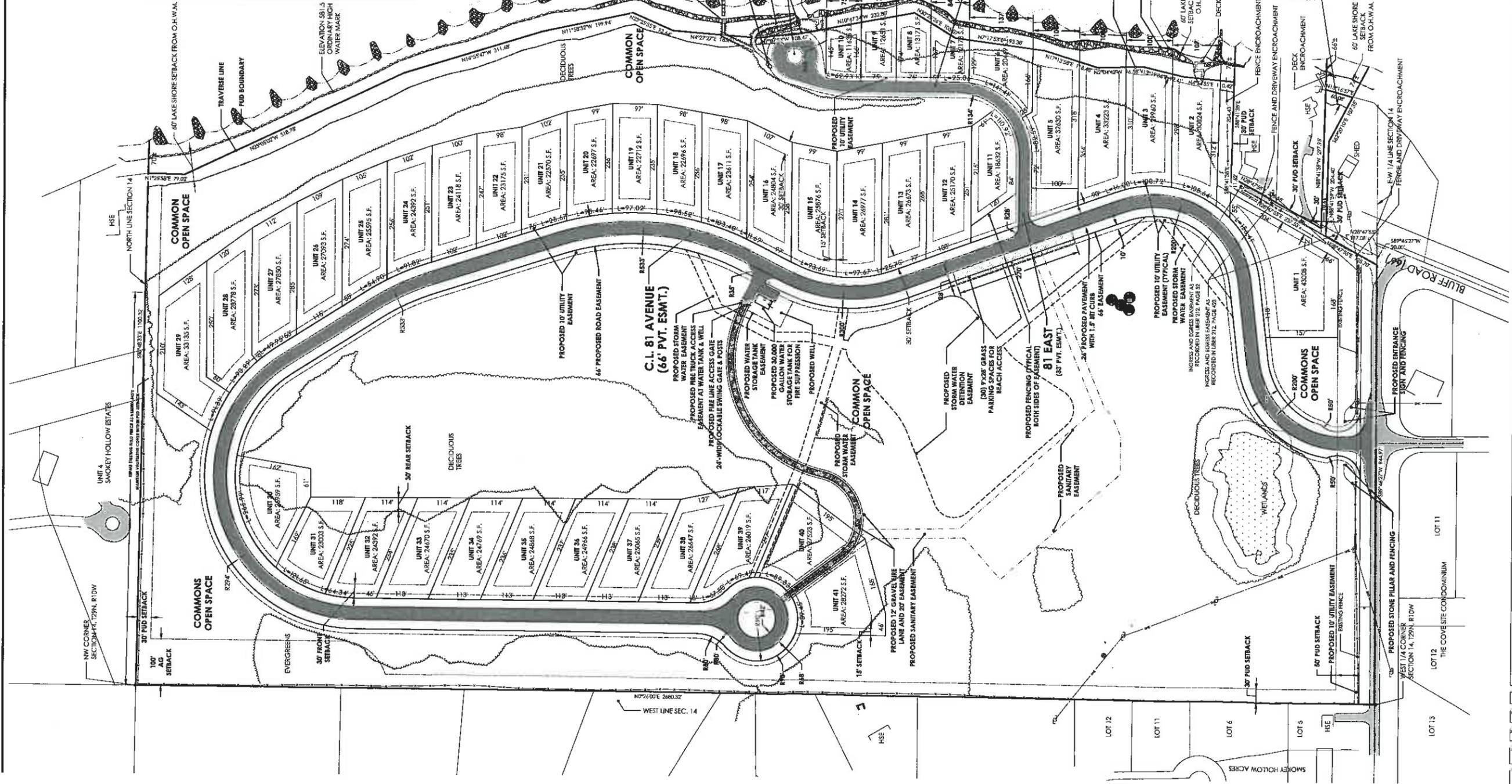
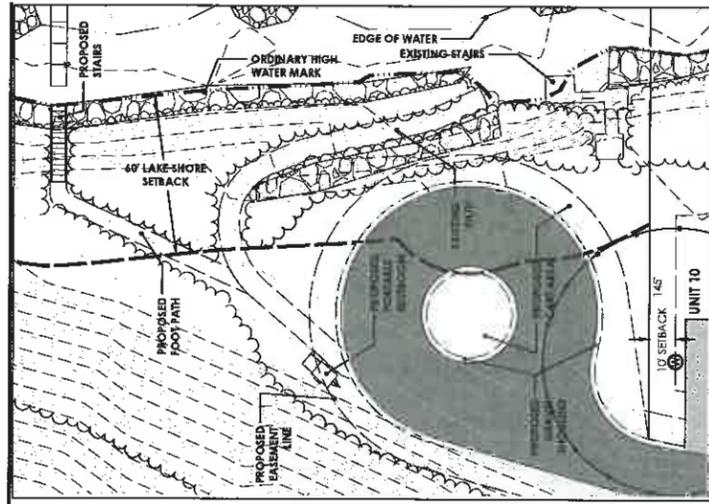
CONSTRUCTION

14016

C2.1

Plotting Project 130714, 40144 Highways/Buildings/Map/14016.ctb, 1/28/16, 10:00 AM, 10/28/16

PL: www.mansfieldpl.com - 4011 E. Highway 100, Suite 100, Grand Traverse, MI 49735 - 231.946.5110



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830 Conantway Dr., Ste. 201
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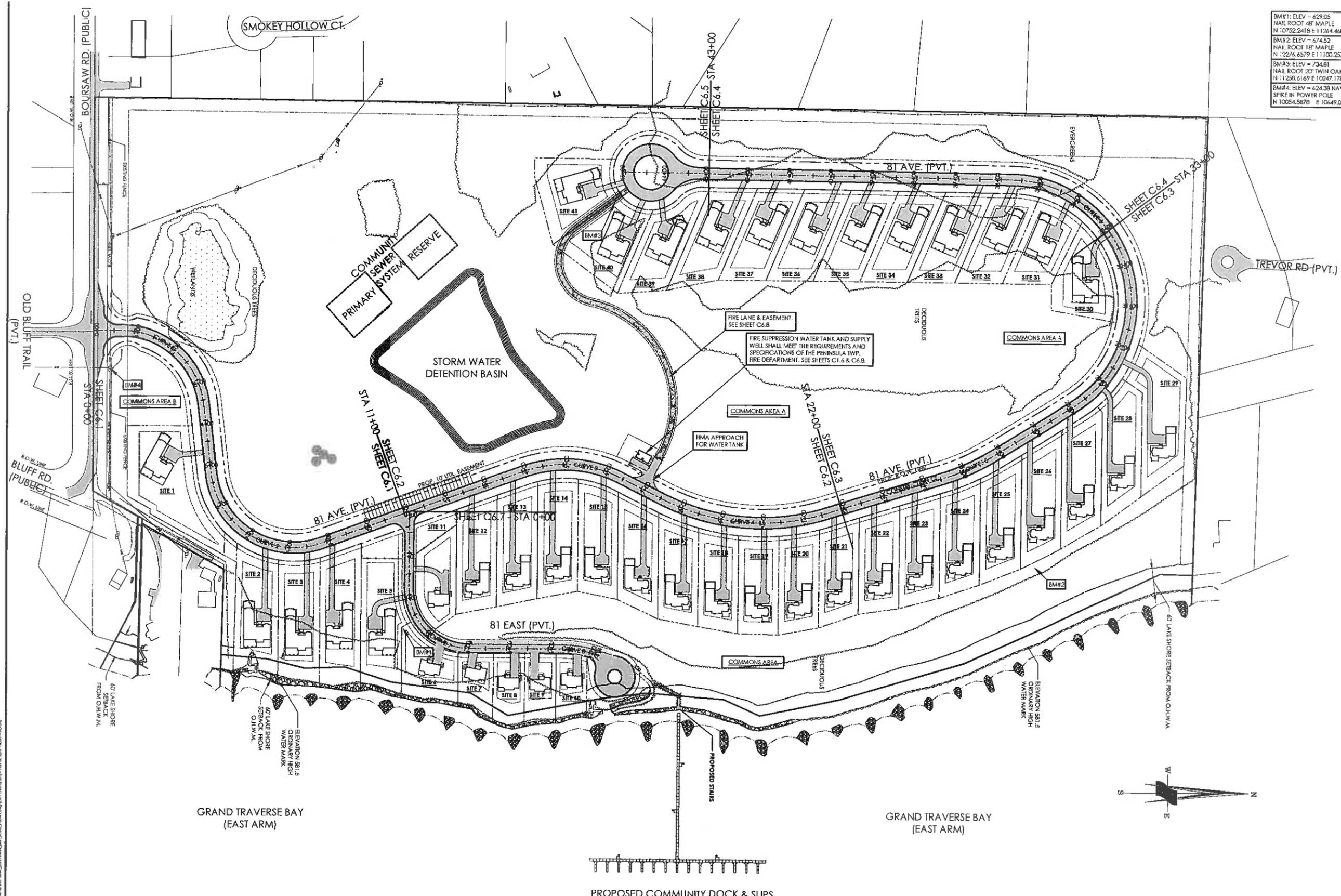
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14	07-14-15	dm	dm	Alternate Emergency Access
15	07-27-15	dm	dm	Alternate Emergency Access
16	12-11-15	dm	dm	Community Single Field Layout
17	01-18-16	dm	dm	Water Storage Tank
18	01-29-16	dm	dm	Construction Plan Updates
19	01-29-16	dm	dm	Open Space Circulation Updates
20	02-09-16	dm	dm	Final 81 East 81 Submittal

The 81 Development Company, LLC
The 81 on East Bay - PUD
SITE & DIMENSION PLAN
Section 14, Town 29 North, Range 10 West
Peninsula Twp., Grand Traverse County, Michigan

CONSTRUCTION

PA: dm
SA: dm
CB: dm
CR: dm
CD: dm
CS: dm
CE: dm
CF: dm
CG: dm
CH: dm
CI: dm
CJ: dm
CK: dm
CL: dm
CM: dm
CN: dm
CO: dm
CP: dm
CQ: dm
CR: dm
CS: dm
CT: dm
CU: dm
CV: dm
CW: dm
CX: dm
CY: dm
CZ: dm

14016
C4.0



BM#1: ELEV = 629.05 NAIL ROOT 48" MAPLE N: 10752.2418 E: 11264.4687
BM#2: ELEV = 674.52 NAIL ROOT 18" MAPLE N: 2274.6579 E: 11100.2573
BM#3: ELEV = 734.81 NAIL ROOT 20" TWIN OAK N: 1258.6169 E: 10247.1784
BM#4: ELEV = 624.38 NAVD88 SPIKE IN POWER POLE N: 10054.5878 E: 10649.0910

830 Comptewer Dr., Ste. 201
P.O. Box 1015
Traverse City, MI 49685
Phone: 231-946-9310
www.mansfieldps.com
info@mansfieldps.com

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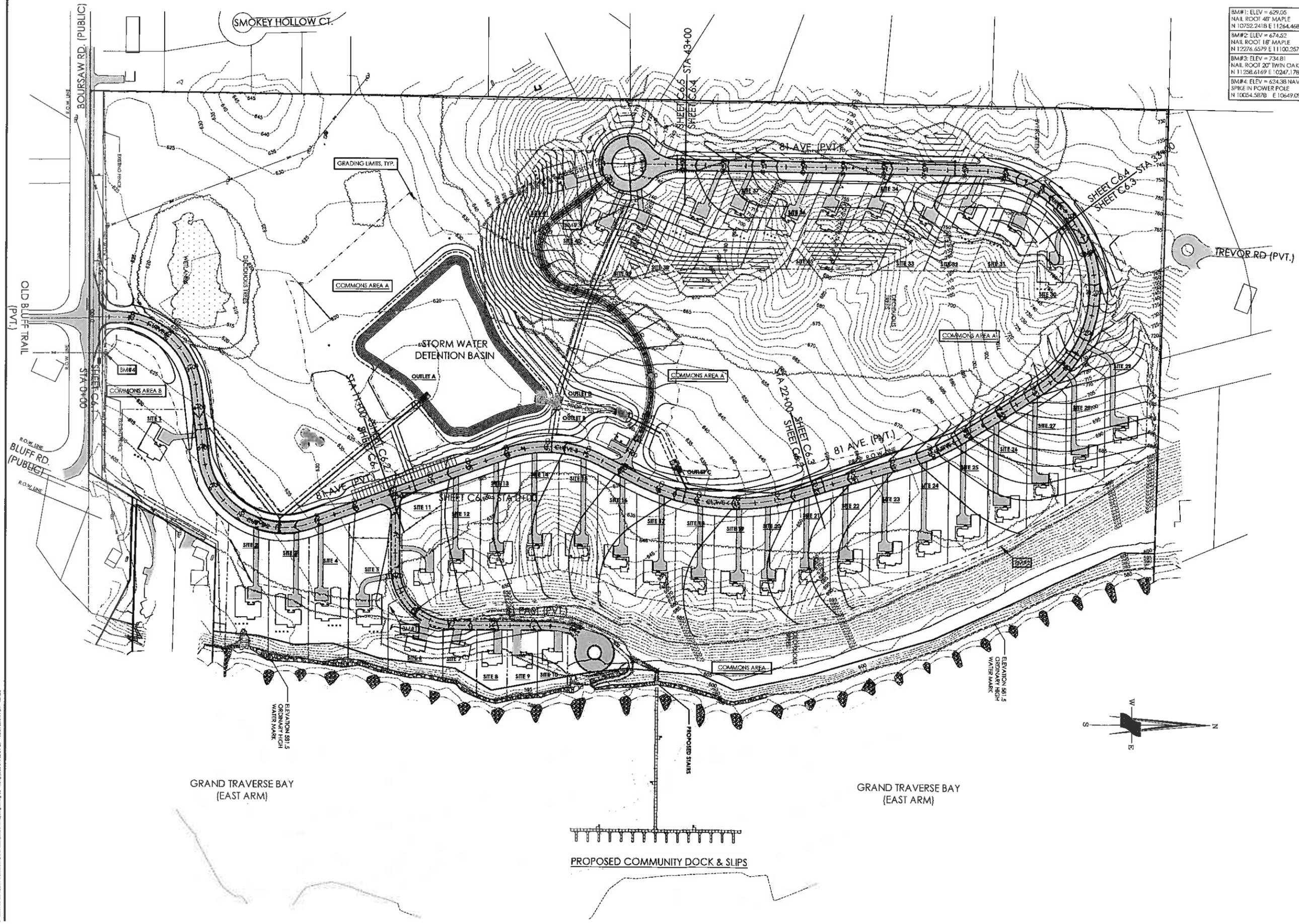
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13	07-26-15	dm	mm	Revised Emergency Access
14	07-14-15	dm	mm	Alternated Emergency Access
15	07-27-15	dm	mm	Alternated Emergency Access
16	12-14-15	dm	mm	Community Utility Field Layout
17	01-08-16	dm	mm	Water Storage Tank
18	01-29-16	dm	mm	Construction Plan Updates
19	01-28-16	dm	mm	Open House Calculation Updates
20	02-26-16	dm	mm	Figure 8, Typ. 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41

The 81 Development Company, LLC
The 81 on East Bay - PUD
OVERALL SITE PLAN
Section 14, Town 29 North, Range 10 West
Peninsula Twp., Grand Traverse County, Michigan

SCALE: 1"=100' H

CONSTRUCTION
DATE: 03/05/14
PROJECT: 14016
SHEET: C4.1

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BM#2: ELEV = 674.52 NAIL ROOT 18" MAPLE N 12276.6579 E 11100.2573
BM#3: ELEV = 734.81 NAIL ROOT 20" TWIN OAK N 11258.6169 E 10247.1764
BM#4: ELEV = 624.38 NAVD'88 SPIKE IN POWER POLE N 10054.5878 E 10649.0910

830 Congerview Dr., Ste. 201
P.O. Box 4015
Traverse City, MI 49685
Phone: 231-946-9310
www.mansfield.com
info@mansfield.com

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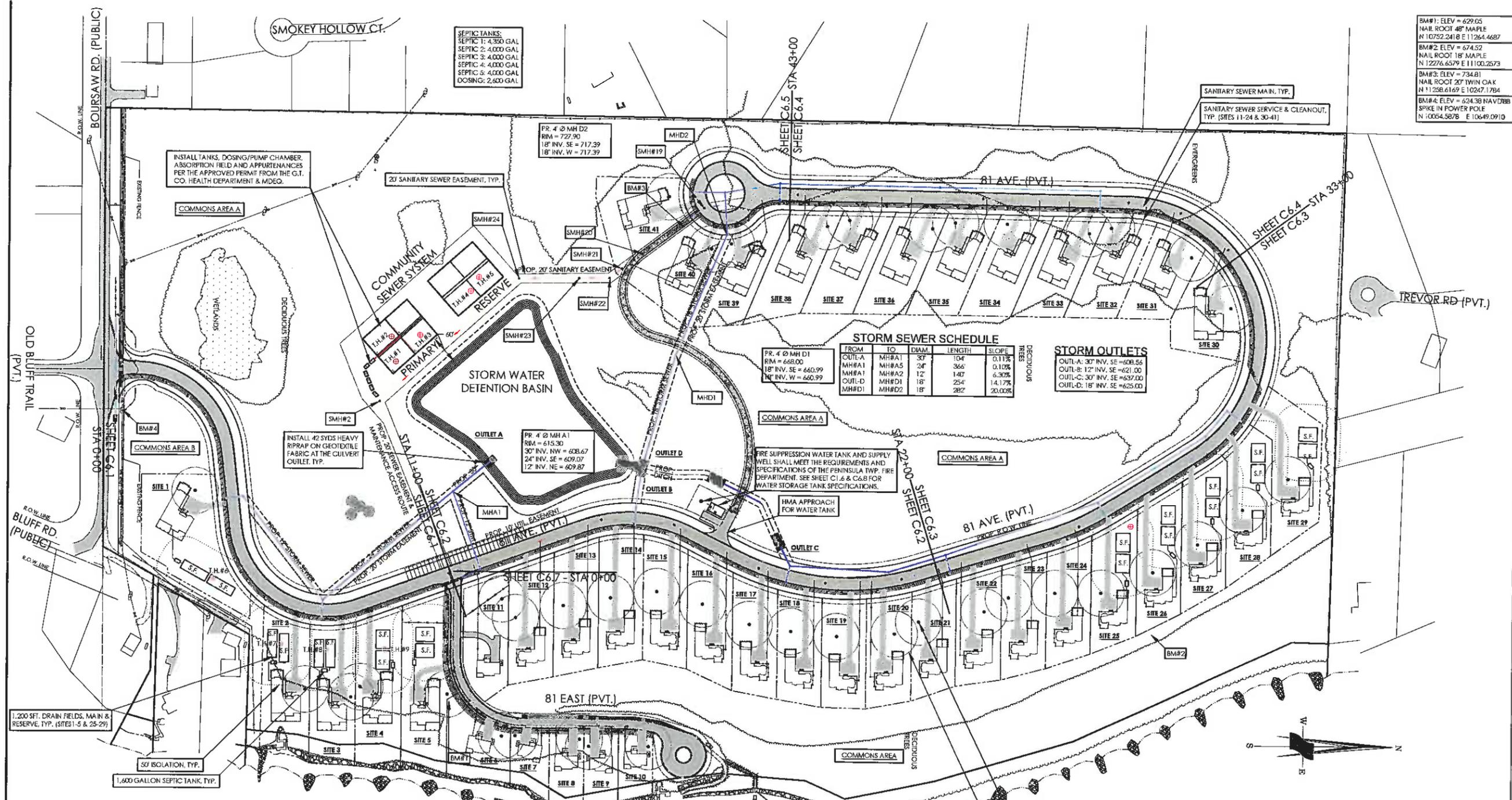
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15/07/2015	dm	dm	Final Emergency Access
14/12/2015	dm	dm	Community Septic Field Layout
17/01/2016	dm	dm	Water Storage Tank
18/01/2016	dm	dm	Construction Plan Updates
19/01/2016	dm	dm	Open House Calculation Updates
20/02/2016	dm	dm	Final Plan & Title Sheet

The 81 Development Company, LLC
The 81 on East Bay - PUD
OVERALL GRADING PLAN
Section 14, Town 29 North, Range 10 West
Peninsula Twp., Grand Traverse County, Michigan

SCALE 1"=100' H

CONSTRUCTION
14016
C5.0

C:\Users\jordan\Documents\81onEastBay\81onEastBay_PUD_OverallGradingPlan.dwg (C:\Users\jordan\Documents\81onEastBay - Feb 09 2016 11:41 am) - 10/20/2016



BM#1: ELEV = 629.05
 NAIL ROOT 48" MAPLE
 N 10752.2418 E 11264.4687

BM#2: ELEV = 674.52
 NAIL ROOT 18" MAPLE
 N 12276.6579 E 11100.2573

BM#3: ELEV = 734.81
 NAIL ROOT 20" TWIN OAK
 N 11298.6169 E 10247.1764

BM#4: ELEV = 624.38 NAVD88
 SPIKE IN POWER POLE
 N 10054.5878 E 10649.0910

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 P.O. Box 4015
 Traverse City, MI 49985
 Phone: 231-946-9310
 www.mansfield.com
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STORM SEWER SCHEDULE

FROM	TO	DIAM.	LENGTH	SLOPE	REMARKS
OUTL-A	MHA1	30"	104'	0.11%	DISCUSS
MHA1	MHA5	24"	366'	0.10%	
MHA1	MHA2	12"	140'	6.30%	
OUTL-D	MHD1	18"	254'	14.17%	
MHD1	MHD2	18"	282'	20.00%	

STORM OUTLETS

OUTL-A: 30" INV. SE = 608.56
OUTL-B: 12" INV. SE = 621.00
OUTL-C: 30" INV. SE = 637.00
OUTL-D: 18" INV. SE = 625.00

INFILTRATION STORM BASIN:

DRAINAGE AREA = 50.26 ACRES
 DESIGN STORAGE VOLUME = 370,644 CFT
 DESIGN HIGH WATER LEVEL = 611.87'
 DESIGN BOTTOM ELEVATION = 608.00'
 DESIGN TOP ELEVATION = 613.00'
 DESIGN MAXIMUM DEPTH = 3.87 FT

SOIL BORING LOGS: COMMUNITY

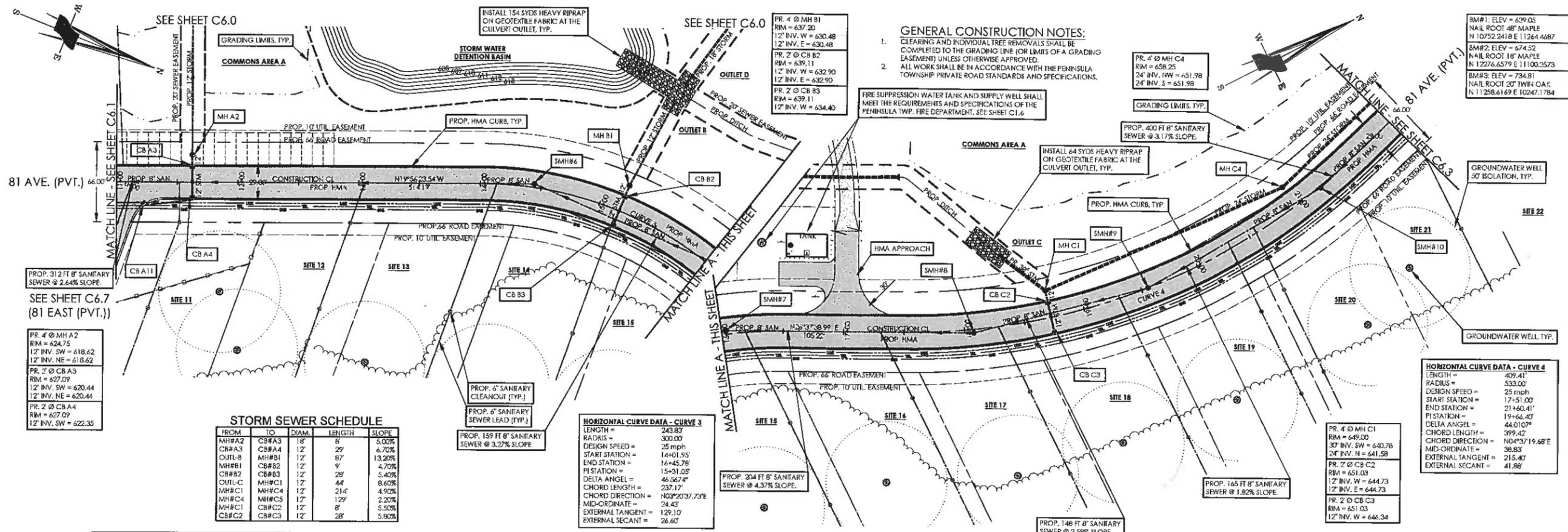
TEST HOLE #	DEPTH	SOIL TYPE	GROUND WATER
TEST HOLE #1	0'-16"	(PRIMARY) SANDY LOAM TOPSOIL	NO GROUND WATER
	16'-102"	LOAMY SAND W/SANDY LOAM INCLUSIONS	
		NO GROUND WATER	
TEST HOLE #2	0'-12"	(PRIMARY) SANDY LOAM TOPSOIL	NO GROUND WATER
	12'-102"	LOAMY SAND W/SANDY LOAM INCLUSIONS	
		NO GROUND WATER	
TEST HOLE #3	0'-12"	(PRIMARY) SANDY LOAM TOPSOIL	NO GROUND WATER
	12'-30"	LOAMY SAND	
	30'-80"	MEDIUM SAND	
	80'-96"	SANDY LOAM	
		NO GROUND WATER	
TEST HOLE #4	0'-12"	(RESERVE) SANDY LOAM TOPSOIL	NO GROUND WATER
	12'-42"	LOAMY SAND	
	42'-96"	SANDY LOAM W/CLAY LOAM INCLUSIONS	
		NO GROUND WATER	
TEST HOLE #5	0'-12"	(RESERVE) SANDY LOAM TOPSOIL	NO GROUND WATER
	12'-24"	LOAMY SAND	
	24'-108"	SANDY LOAM	
		NO GROUND WATER	

SOIL BORING LOGS: LOTS 1-4

TEST HOLE #	DEPTH	SOIL TYPE	GROUND WATER
TEST HOLE #6	0'-10"	(LOT 1) SANDY LOAM TOPSOIL	NO GROUND WATER
	10'-16"	LOAMY SAND	
	16'-96"	MEDIUM SAND	
	96'-108"	CLAY	
		NO GROUND WATER	
TEST HOLE #7	0'-16"	(LOT 2) SANDY LOAM TOPSOIL	NO GROUND WATER
	16'-30"	LOAMY SAND	
	30'-66"	MEDIUM SAND	
	66'-78"	SANDY LOAM	
	78'-102"	MEDIUM SAND	
	102'-114"	SANDY LOAM	
		NO GROUND WATER	
TEST HOLE #8	0'-10"	(LOT 3) SANDY LOAM TOPSOIL	NO GROUND WATER
	10'-36"	LOAMY SAND	
	36'-108"	SANDY LOAM	
		NO GROUND WATER	
TEST HOLE #9	0'-9"	(LOT 4) SANDY LOAM TOPSOIL	NO GROUND WATER
	9'-45"	LOAMY SAND	
	45'-78"	SANDY LOAM	
	78'-120"	COMPACTED SANDY LOAM	
		NO GROUND WATER	

The 81 Development Company, LLC
 The 81 on East Bay - PUD
 OVERALL UTILITY PLAN
 Section 14, Town 29 North, Range 10 West
 Peninsula Twp., Grand Traverse County, Michigan

SCALE: 1"=100' H
 CONSTRUCTION
 14016
 C6.0



GENERAL CONSTRUCTION NOTES:
 1. CLEARING AND INDIVIDUAL TREE REMOVALS SHALL BE COMPLETED TO THE GRADING LINE (OR LIMITS OF A GRADING EASEMENT) UNLESS OTHERWISE APPROVED.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE PENNSILVA TOWNSHIP PRIVATE ROAD STANDARDS AND SPECIFICATIONS.

PR. 4" Ø MH A2
 RM = 624.75
 12" INV. SW = 618.62
 12" INV. NE = 618.62

PR. 2" Ø CB A3
 RM = 627.09
 12" INV. SW = 620.44
 12" INV. NE = 620.44

PR. 2" Ø CB A4
 RM = 627.09
 12" INV. SW = 622.35

STORM SEWER SCHEDULE

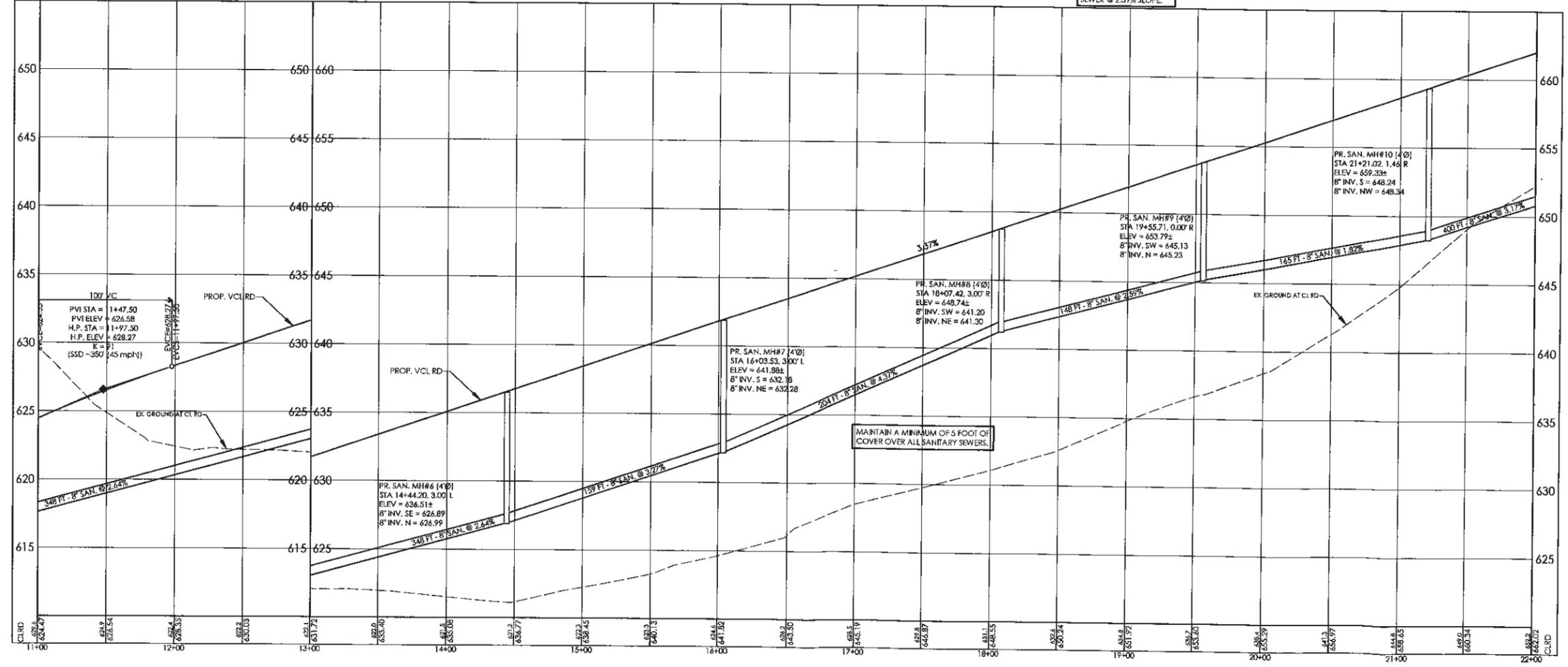
FROM	TO	DIAM.	LENGTH	SLOPE
MH#A2	CB#A3	18"	8'	5.00%
CB#A3	CB#A4	12"	29'	6.70%
OUTL-B	MH#B1	12"	87'	13.20%
MH#B1	CB#B2	12"	9'	4.70%
CB#B2	CB#B3	12"	28'	5.40%
OUTL-C	MH#C1	12"	44'	8.60%
MH#C1	MH#C4	12"	214'	4.90%
MH#C4	MH#C5	12"	129'	2.20%
MH#C1	CB#C2	12"	8'	5.50%
CB#C2	CB#C3	12"	28'	5.80%

HORIZONTAL CURVE DATA - CURVE 3

LENGTH = 243.83'
 RADIUS = 300.00'
 DESIGN SPEED = 25 mph
 START STATION = 14+01.55'
 END STATION = 14+45.79'
 PI STATION = 15+31.05'
 DELTA ANGLE = 46.5674°
 CHORD LENGTH = 237.17'
 CHORD DIRECTION = N03°20'37.73"E
 MID-ORDINATE = 24.43'
 EXTERNAL TANGENT = 129.10'
 EXTERNAL SECANT = 26.60'

HORIZONTAL CURVE DATA - CURVE 4

LENGTH = 409.41'
 RADIUS = 533.00'
 DESIGN SPEED = 25 mph
 START STATION = 17+51.00'
 END STATION = 21+60.41'
 PI STATION = 19+66.40'
 DELTA ANGLE = 44.0107°
 CHORD LENGTH = 399.42'
 CHORD DIRECTION = N04°37'19.68"E
 MID-ORDINATE = 38.83'
 EXTERNAL TANGENT = 215.40'
 EXTERNAL SECANT = 41.88'



830 Congreary Dr. Ste. 201
 Traverse City, MI 49685
 Phone: 231-945-9310
 www.mansfield.com
 info@mansfield.com

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REV.	DATE	BY	CHKD.	DESCRIPTION
13	10/26/15	dm	dm	Issue Emergency Access
14	10/26/15	dm	dm	Attended Emergency Access
15	07/27/15	dm	dm	Attended Emergency Access
16	12/4/14	dm	dm	Community Site Field Layout
17	01/08/14	dm	dm	Water Storage Tank
18	01/29/14	dm	dm	Construction Plan Updates
19	01/29/14	dm	dm	Open House Calculation Updates
20	02/26/13	dm	dm	Final E. Prop. Summary

The 81 Development Company, LLC
 The 81 on East Bay - PUD
 81 AVE. - PLAN & PROFILE: STA 11+00 TO STA 22+00
 Section 14, Town 29 North, Range 10 West
 Peninsula Twp., Grand Traverse County, Michigan

SCALE: 1"=40' H, 1"=4' V

CONSTRUCTION

DATE: 10/26/15

JOB NO: 14016

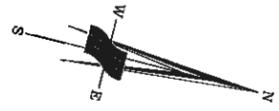
SHEET: C6.2

C:\Users\dmiller\Documents\81onEastBay_PUD\81onEastBay_PUD.dwg (C6.2) - 10/26/2015 11:58am - REXX

PR. 4" Ø MH C5
RIM = 661.10
24" INV. SE = 654.85
18" INV. NW = 655.25

PR. 2" Ø CB C6
RIM = 663.00
12" INV. SW = 656.39
12" INV. NE = 656.39

PR. 2" Ø CB C7
RIM = 663.00
12" INV. SW = 658.29



HORIZONTAL CURVE DATA - CURVE 5
LENGTH = 137.88
RADIUS = 533.00
DESIGN SPEED = 25 mph
START STATION = 24+51.62
END STATION = 25+89.50
PI STATION = 25+20.55
DELTA ANGLE = 14.8213°
CHORD LENGTH = 137.49
CHORD DIRECTION = N24°47'38.00"W
MID-ORDINATE = 4.45
EXTERNAL TANGENT = 69.33
EXTERNAL SECANT = 4.47

PR. 4" Ø MH C8
RIM = 685.25
12" INV. NW = 680.29
18" INV. SE = 679.89

PR. 2" Ø CB C9
RIM = 686.46
12" INV. NE = 680.54
12" INV. SW = 680.54

PR. 2" Ø CB C10
RIM = 686.46
12" INV. SW = 681.25

HORIZONTAL CURVE DATA - CURVE 6
LENGTH = 755.05
RADIUS = 293.56
DESIGN SPEED = 25 mph
START STATION = 28+15.43
END STATION = 35+70.46
PI STATION = 31+42.94
DELTA ANGLE = 147.3566°
CHORD LENGTH = 563.51
CHORD DIRECTION = S74°07'01.36"W
MID-ORDINATE = 211.08
EXTERNAL TANGENT = 1002.58
EXTERNAL SECANT = 751.10

PR. 4" Ø MH C11
RIM = 719.50
12" INV. SW = 714.78
12" INV. NW = 714.78

PR. 2" Ø CB C13
RIM = 729.01
12" INV. SW = 724.15
12" INV. NE = 724.15

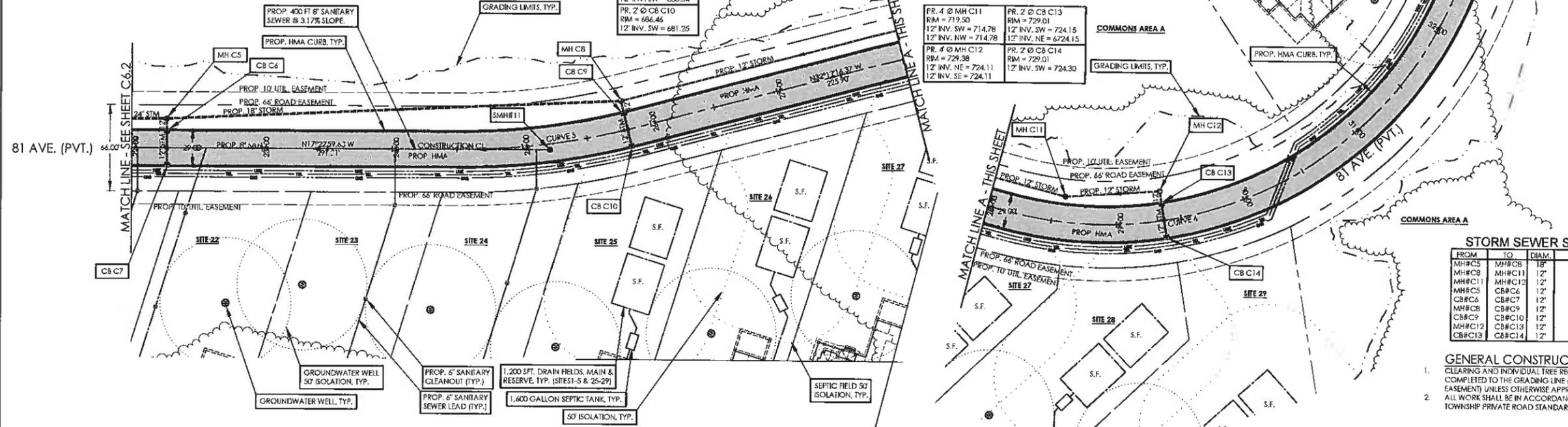
PR. 4" Ø MH C12
RIM = 729.39
12" INV. NE = 724.11
12" INV. SE = 724.11

PR. 2" Ø CB C14
RIM = 729.01
12" INV. SW = 724.30

BM#1: ELEV = 629.05
NAIL ROOT 48" MAPLE
N 107°52.2418' E 11264.4687

BM#2: ELEV = 674.52
NAIL ROOT 18" MAPLE
N 122°16.6579' E 11100.2573

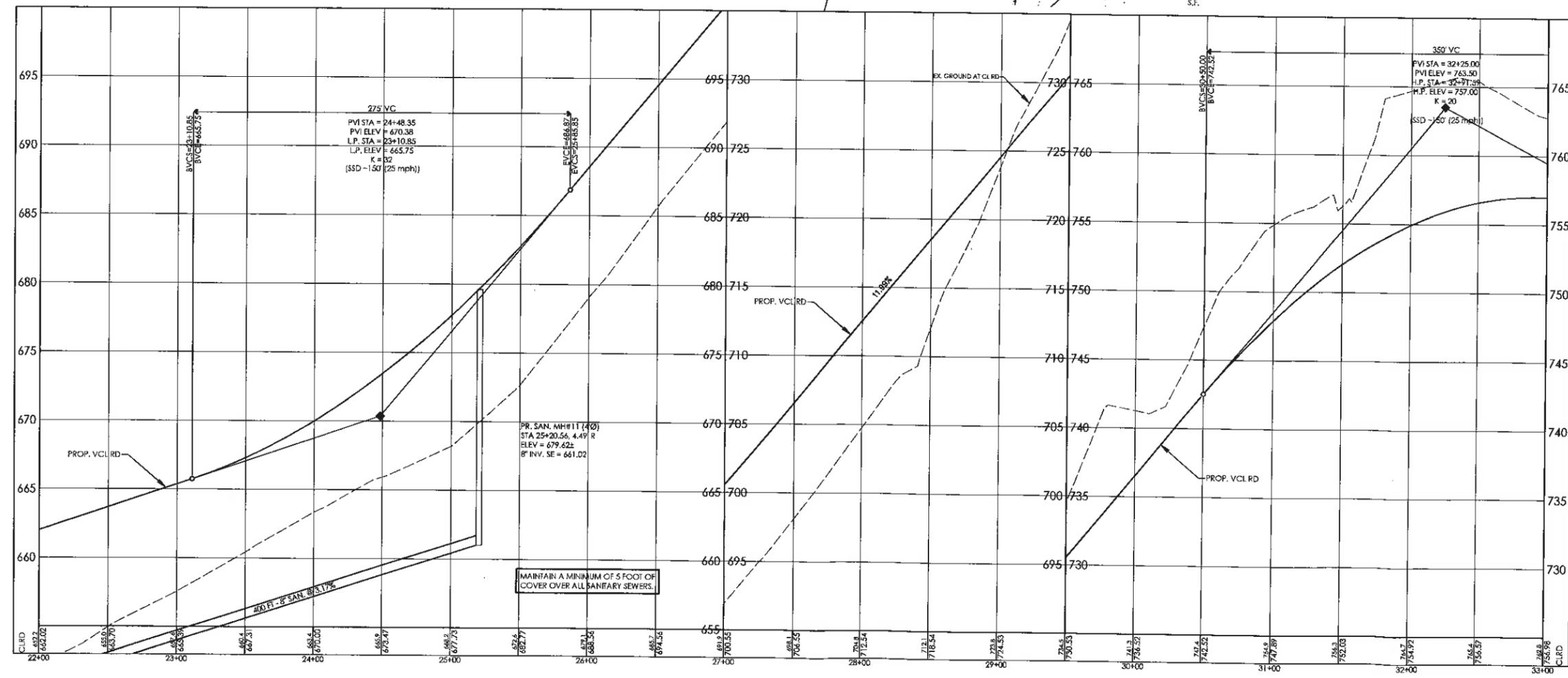
BM#3: ELEV = 734.81
NAIL ROOT 20" TWIN OAK
N 112°58.6169' E 10247.1784



STORM SEWER SCHEDULE

FROM	TO	DIAM.	LENGTH	SLOPE
MH#C5	MH#C8	18"	348'	0.71%
MH#C8	MH#C11	12"	274'	12.60%
MH#C11	MH#C12	12"	72'	13.00%
MH#C5	CB#C6	12"	8'	5.10%
CB#C6	CB#C7	12"	29'	5.30%
MH#C8	CB#C9	12"	8'	3.20%
CB#C9	CB#C10	12"	29'	3.42%
MH#C12	CB#C13	12"	8'	0.50%
CB#C13	CB#C14	12"	29'	0.50%

GENERAL CONSTRUCTION NOTES:
1. CLEARING AND INDIVIDUAL TREE REMOVALS SHALL BE COMPLETED TO THE GRADING LINE (OR LIMITS OF A GRADING EASEMENT) UNLESS OTHERWISE APPROVED.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE PENINSULA TOWNSHIP PRIVATE ROAD STANDARDS AND SPECIFICATIONS.



830 Congress Dr., Ste. 201
P.O. Box 4015
Traverse City, MI 49685
Phone: 231-946-9310
www.mansfield.com
info@mansfield.com

Mansfield
Land Use Consultants

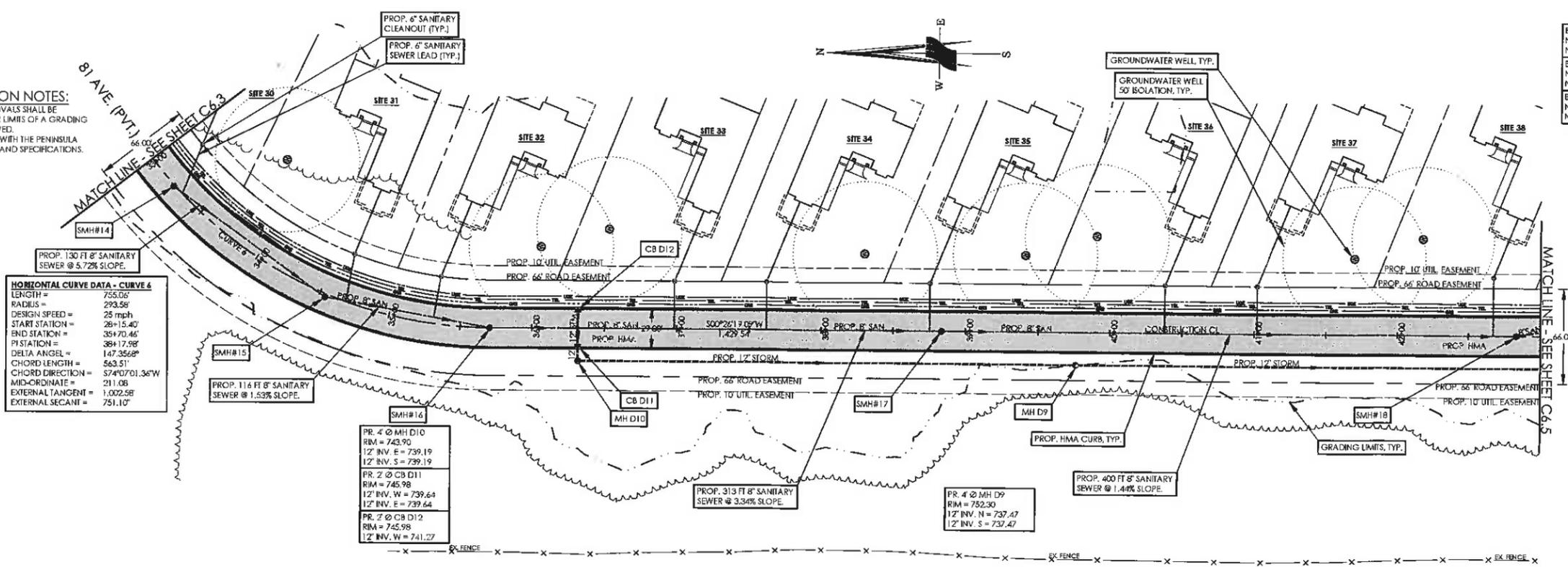
REV.	DATE	BY	CHK.	DESC.
13	07-04-13	dm	dm	Revised Emergency Access
14	07-14-13	dm	dm	Added Emergency Access
15	07-27-13	dm	dm	Added Emergency Access
16	12-14-13	dm	dm	Community Stable Field Layout
17	01-16-14	dm	dm	Water Storage Tank
18	01-28-14	dm	dm	Construction Man-Ups
19	01-28-14	dm	dm	Open Base Calculation Method
20	02-27-14	dm	dm	Permit & Sign Submittal

The 81 Development Company, LLC
The 81 on East Bay - PUD
81 AVE. - PLAN & PROFILE: STA 22+00 TO STA 33+00
Section 14, Town 29 North, Range 10 West
Peninsula Twp., Grand Traverse County, Michigan

SCALE: 1"=40' H, 1"=4' V
CONSTRUCTION
JOB NO. 14016
C6.3

Checked by: [Name] Date: [Date]
Designed by: [Name] Date: [Date]
Drawn by: [Name] Date: [Date]

GENERAL CONSTRUCTION NOTES:
 1. CLEARING AND INDIVIDUAL TREE REMOVALS SHALL BE COMPLETED TO THE GRADING LINE (OR LIMITS OF A GRADING EASEMENT) UNLESS OTHERWISE APPROVED.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE PENINSULA TOWNSHIP PRIVATE ROAD STANDARDS AND SPECIFICATIONS.



HORIZONTAL CURVE DATA - CURVE 6

LENGTH =	753.58
RADIUS =	293.58
DESIGN SPEED =	25 mph
START STATION =	26+15.40
END STATION =	35+70.46
PI STATION =	30+92.93
DELTA ANGLE =	147.3568°
CHORD LENGTH =	563.51
CHORD BEARING =	S74°07'01.36\"/>

PROP. 11.6 FT 8\"/>

PR. 4\"/>

PROP. 313 FT 8\"/>

PR. 4\"/>

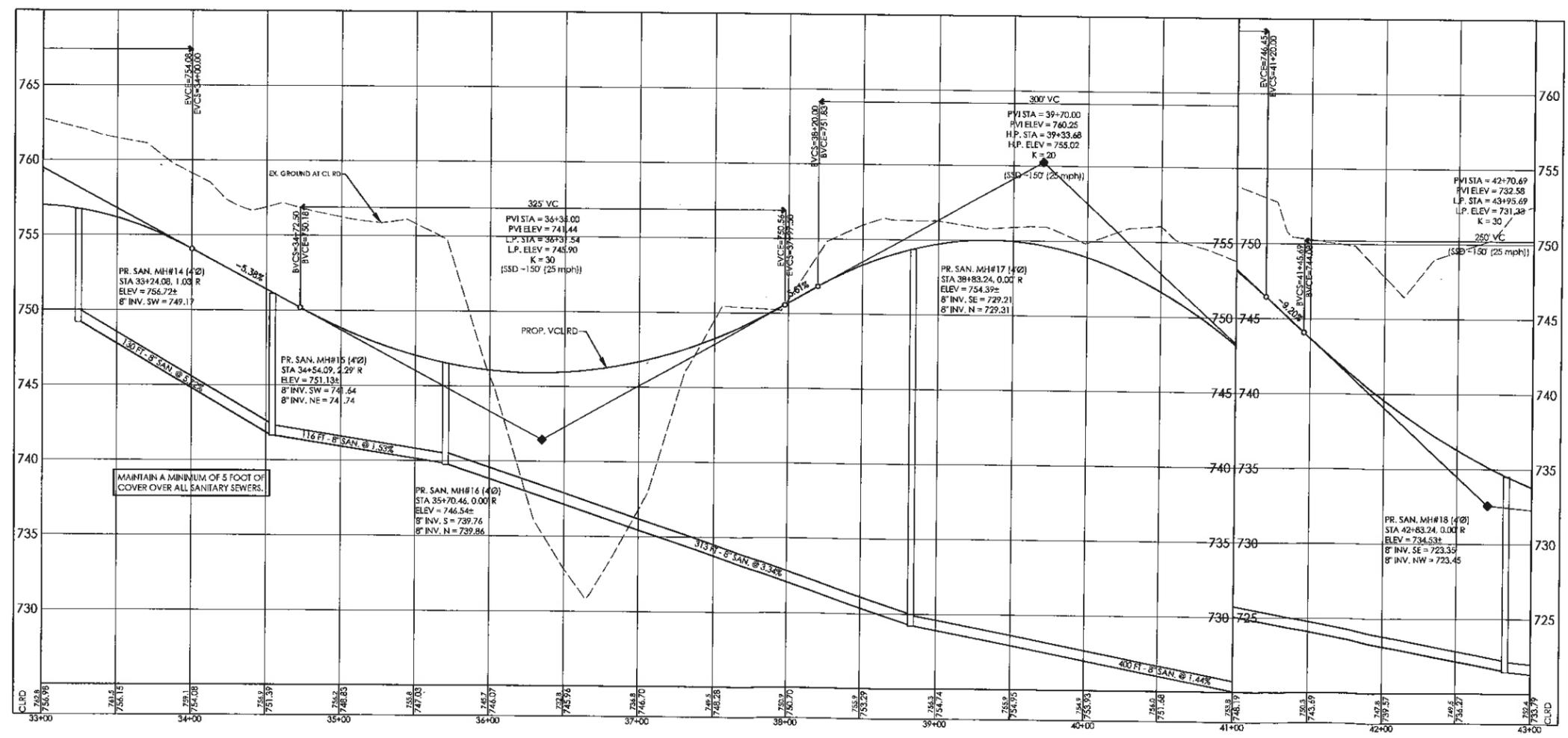
PROP. 400 FT 8\"/>

GRADING LIMITS, TYP.

BM#1: ELEV = 629.05
NAIL, ROOT 48\"/>

830 Conover Dr., Ste. 201
 P.O. Box 4015
 Traverse City, MI 49985
 Phone: 231-946-9310
 www.mansfield.com
 info@mansfield.com

Mansfield
 Land Use Consultants



MAINTAIN A MINIMUM OF 5 FOOT OF COVER OVER ALL SANITARY SEWERS.

REV	DATE	BY	CHK	DESCRIPTION
13	10/20/15	dm	dm	Revised Emergency Access
14	07/14/15	dm	dm	Alternate Emergency Access
15	07/27/15	dm	dm	Alternate Emergency Access
16	12/14/15	dm	dm	Community Signage Field Layout
17	01/19/16	dm	dm	Water Storage Tank
18	01/28/16	dm	dm	Construction Plan Updates
19	01/28/16	dm	dm	Open Space Calculation Updates
20	05/27/15	dm	dm	Part 5, Typ. 3, 2015

The 81 Development Company, LLC
The 81 on East Bay - PUD
81 AVE. - PLAN & PROFILE: STA 33+00 TO STA 43+00
 Section 14, Town 29 North, Range 10 West
 Peninsula Twp., Grand Traverse County, Michigan

SCALE: 1"=40' H, 1"=4' V

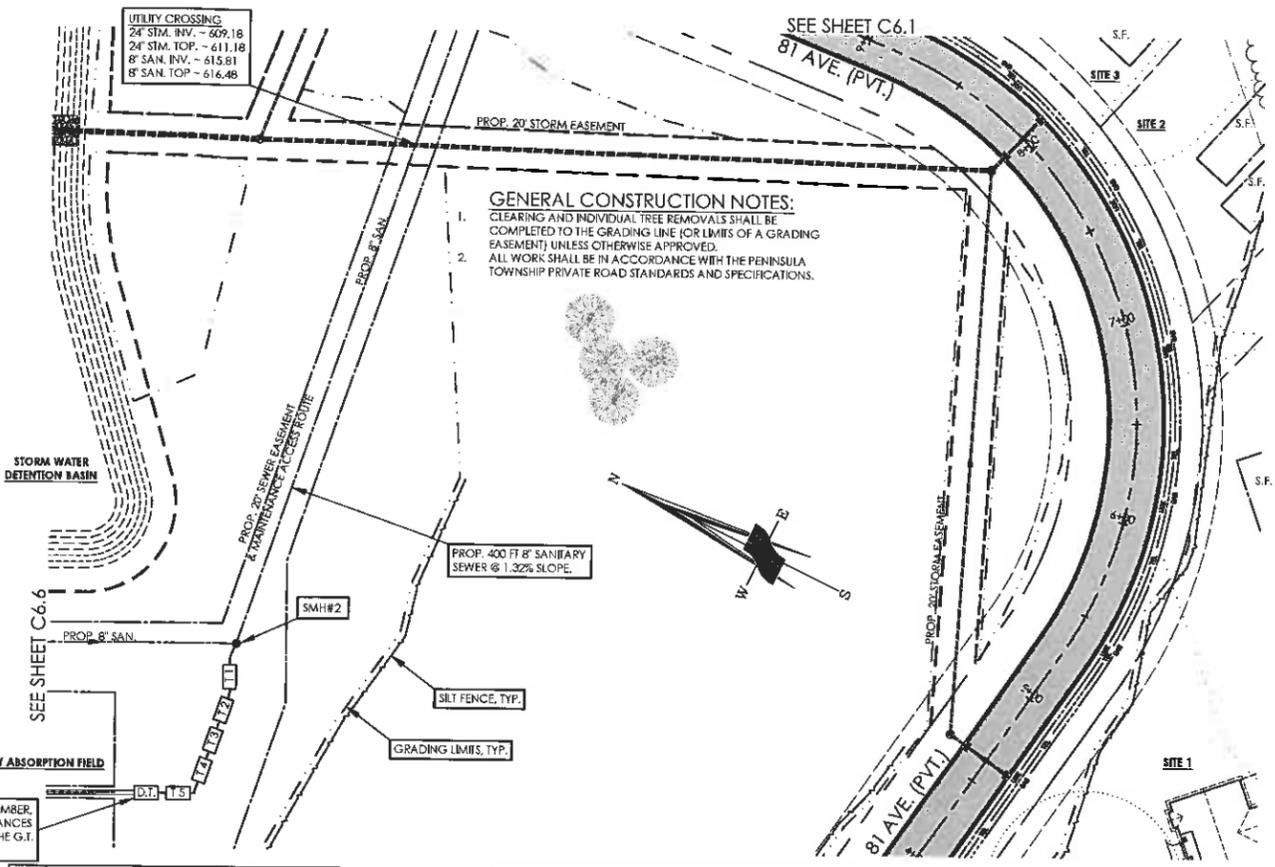
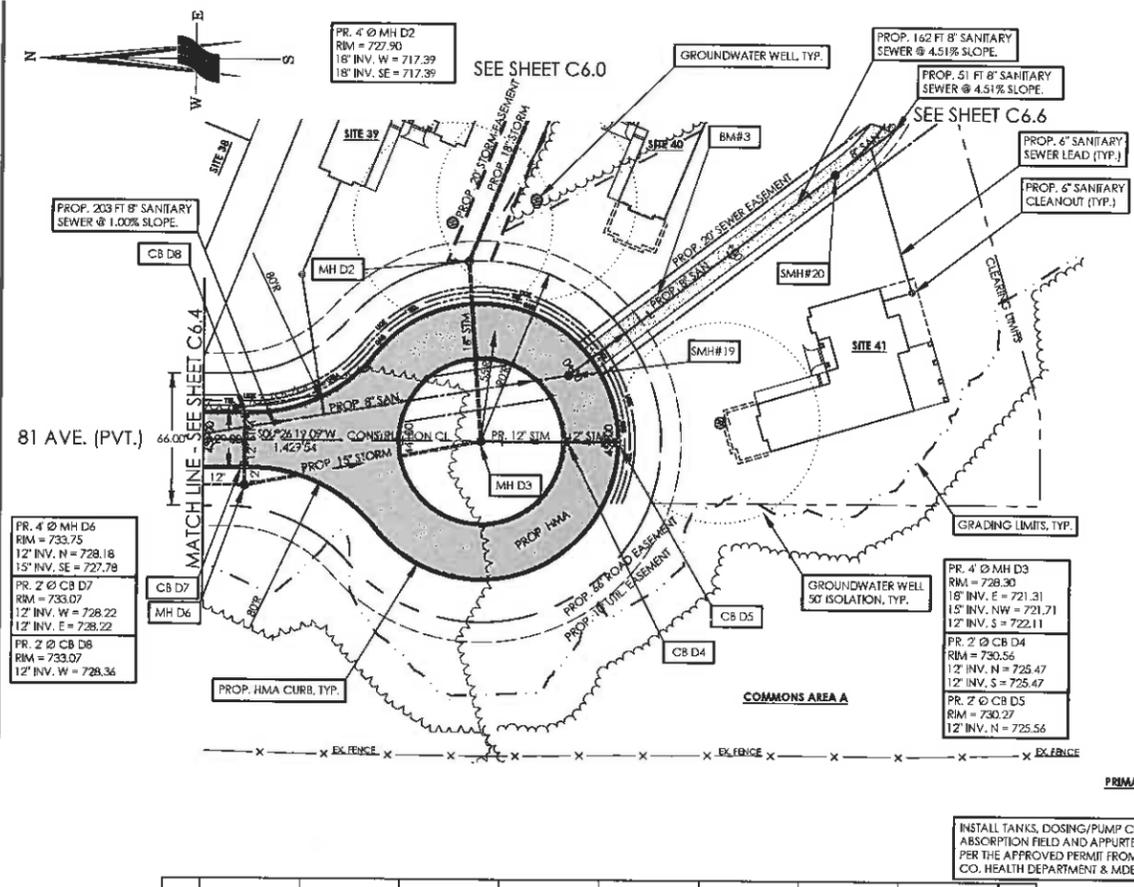
CONSTRUCTION

DATE: 03/05/14

14016

C6.4

C:\Users\mccor\OneDrive\Documents\81_AVE_PUD\81_AVE_PUD.dwg - 14016.dwg - 03/05/14



BM#1: ELEV = 629.05 NAIL ROOF 4" MAPLE N 10752.2418 E 11264.4687
BM#2: ELEV = 674.52 NAIL ROOF 18" MAPLE N 12276.6579 E 11100.2573
BM#3: ELEV = 734.81 NAIL ROOF 20" TWIN GAK N 11288.6169 E 10247.1784

Mansfield
Land Use Consultants

830 Cottageview Dr., Ste. 201
Traverse City, MI 49985
Phone: 231-946-9310
www.mansfield.com
info@mansfield.com

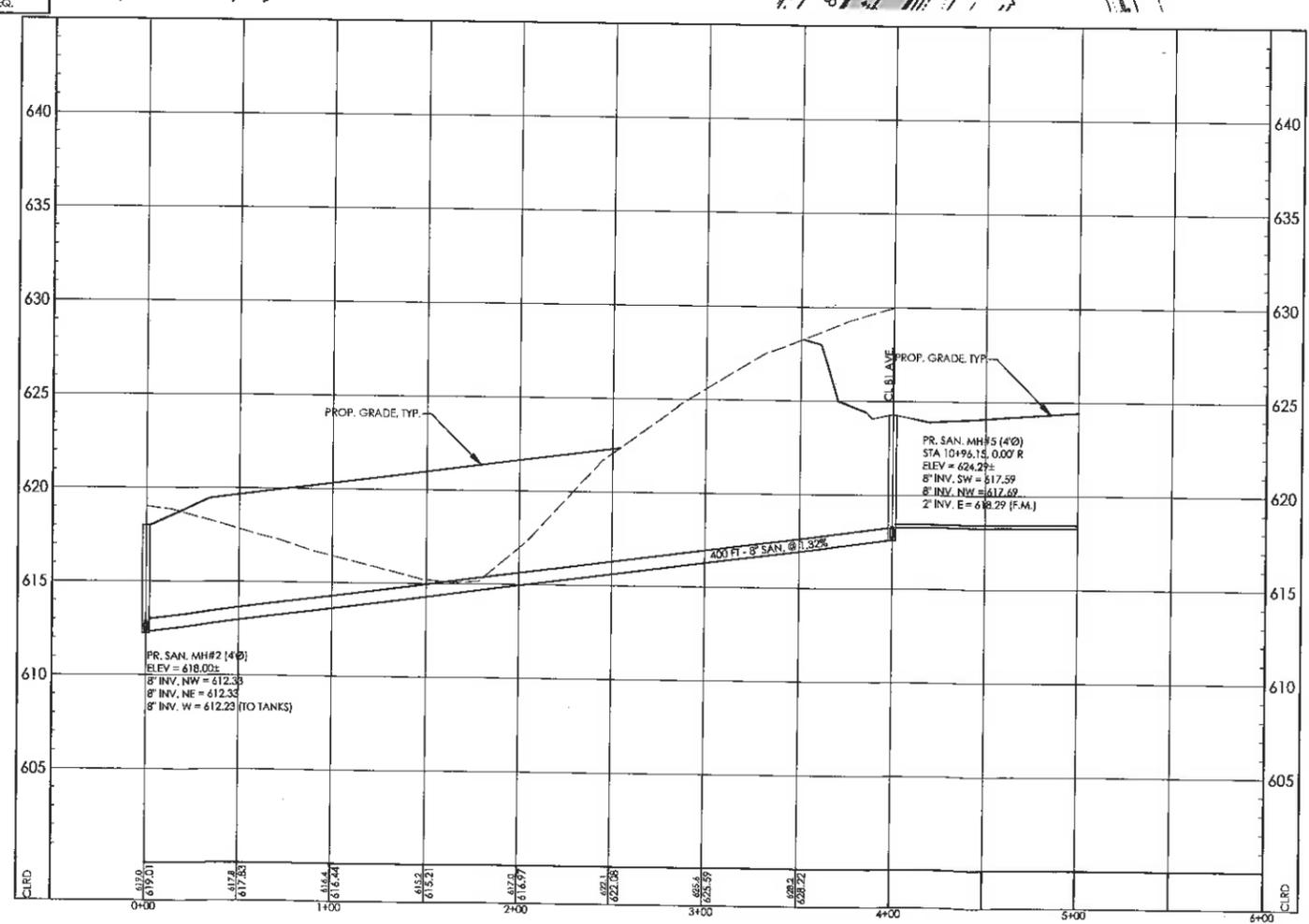
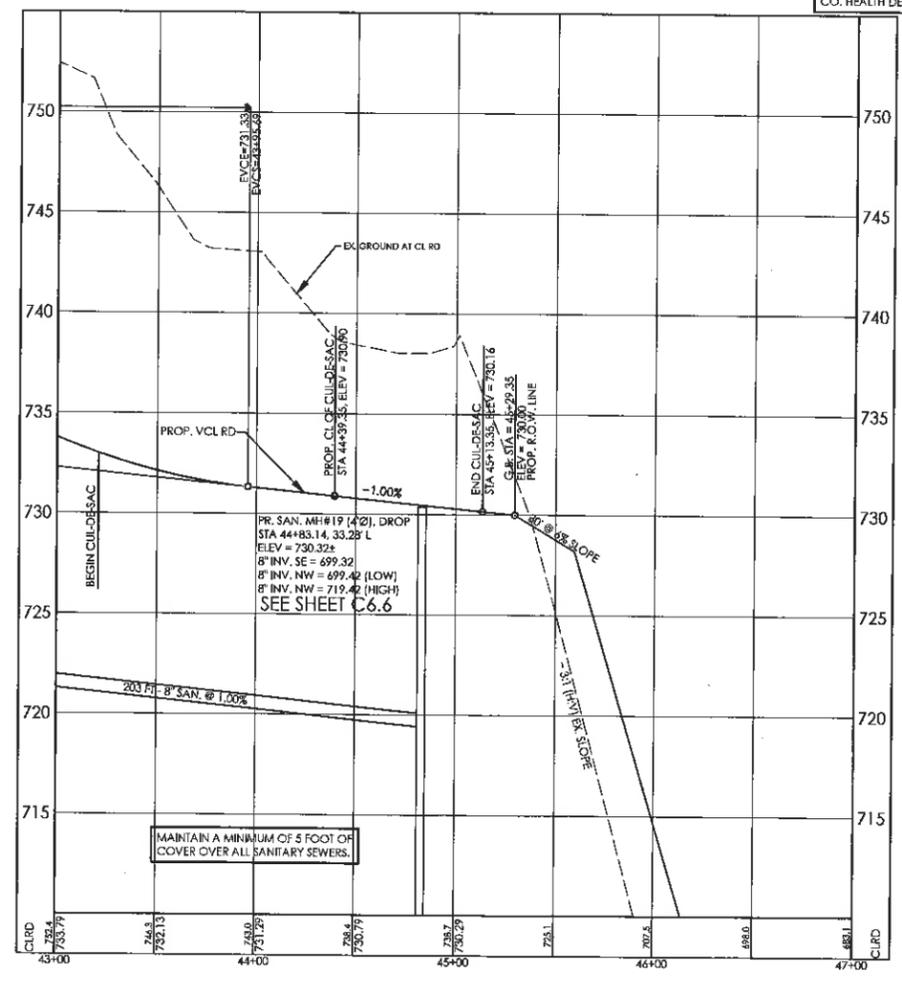
PR. 4" Ø MH D6 RIM = 733.75 12" INV. N = 728.18 15" INV. SE = 727.78
PR. 2" Ø CB D7 RIM = 733.07 12" INV. W = 728.22 12" INV. E = 728.22
PR. 2" Ø CB D8 RIM = 733.07 12" INV. W = 728.36

PR. 4" Ø MH D3 RIM = 728.30 18" INV. E = 721.31 15" INV. NW = 721.71 12" INV. S = 722.11
PR. 2" Ø CB D4 RIM = 730.56 12" INV. N = 725.47 12" INV. S = 725.47
PR. 2" Ø CB D5 RIM = 730.27 12" INV. N = 725.56

GENERAL CONSTRUCTION NOTES:

- CLEARING AND INDIVIDUAL TREE REMOVALS SHALL BE COMPLETED TO THE GRADING LINE (OR LINES OF A GRADING EASEMENT) UNLESS OTHERWISE APPROVED.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE PENINSULA TOWNSHIP PRIVATE ROAD STANDARDS AND SPECIFICATIONS.

INSTALL TANKS, DOSING/PUMP CHAMBER, ABSORPTION FIELD AND APPURTENANCES PER THE APPROVED PERMIT FROM THE G.T. CO. HEALTH DEPARTMENT & MDEQ.



REV.	DATE	BY	CHK	DESCRIPTION
13	07/26/12	dm	mm	Revised Emergency Access
14	07/26/12	dm	mm	Alternate Emergency Access
15	07/27/12	dm	mm	Alternate Emergency Access
16	12/14/12	dm	mm	Community Septic Field Layout
17	01/28/14	dm	mm	Water Storage Tank
18	01/28/14	dm	mm	Construction Plan Updates
19	01/28/14	dm	mm	Open Space Calculation Updates
20	02/25/14	dm	mm	Revised Site, Submittal

The 81 Development Company, LLC
The 81 on East Bay - PUD
81 AVE. - PLAN & PROFILE: STA 43+00 TO P.O.E.
Section 14, Town 29 North, Range 10 West
Peninsula Twp., Grand Traverse County, Michigan

SCALE: 1"=40' H, 1"=4' V

CONSTRUCTION

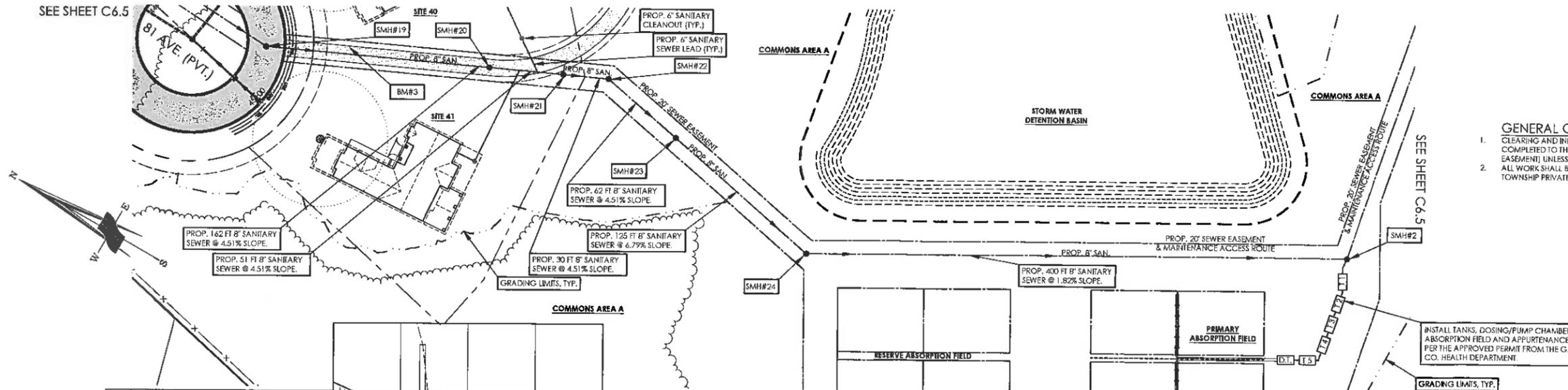
DATE: 03.05.14

14016

C6.5

C:\Users\jacob\Documents\81onEastBay_PUD\81onEastBay_PUD.dwg (CL) - PLOT: 03/05/2014 10:00:00 AM

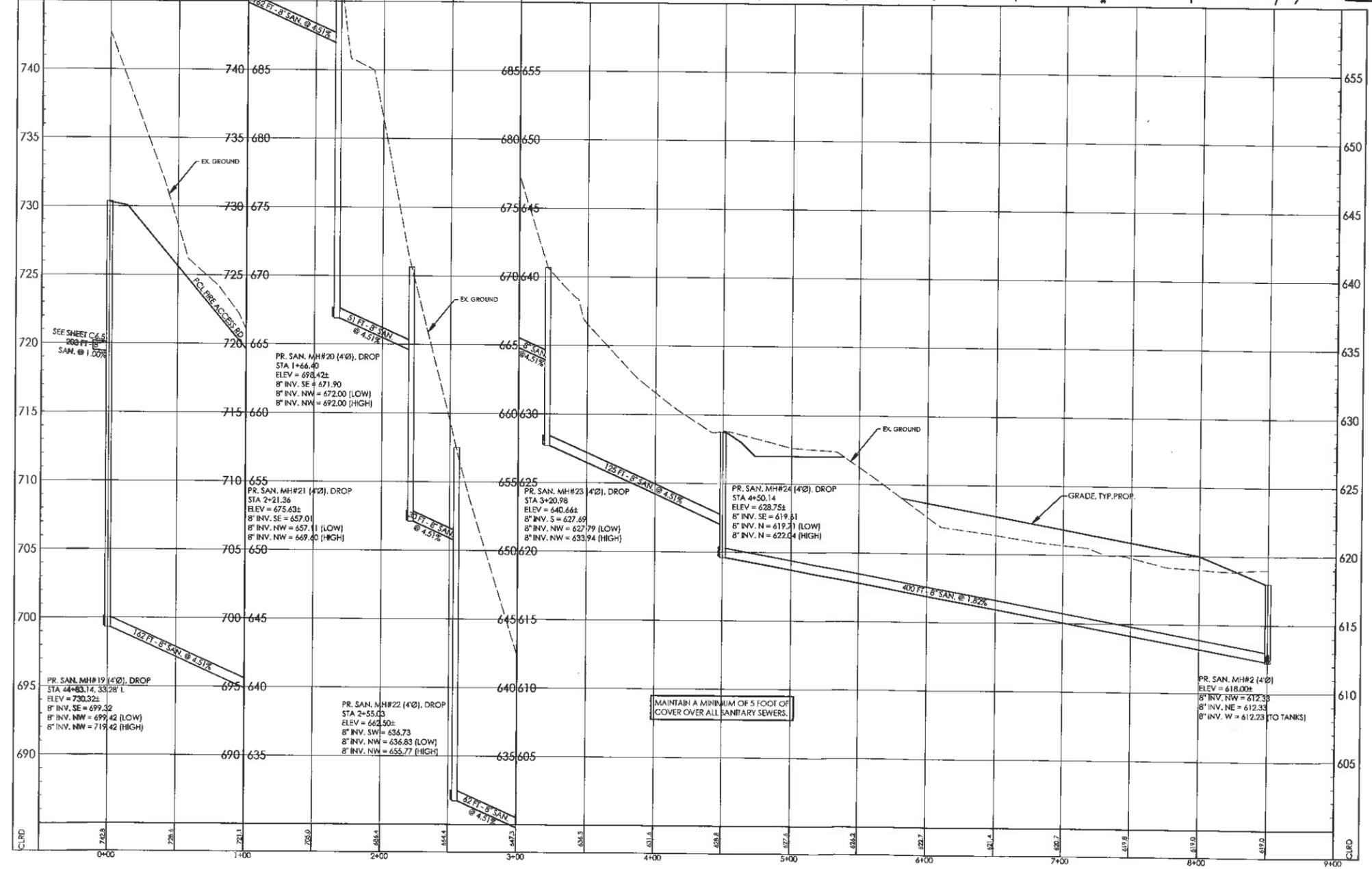
SEE SHEET C6.5



BM#1: ELEV = 629.05
 NAIL ROOT 4" MAPLE
 N 10752.2418 E 11264.4687
 BM#2: ELEV = 674.52
 NAIL ROOT 18" MAPLE
 N 12276.6579 E 11100.2573
 BM#3: ELEV = 734.81
 NAIL ROOT 20" TWIN OAK
 N 11258.6189 E 10247.1784

- GENERAL CONSTRUCTION NOTES:**
- CLEARING AND INDIVIDUAL TREE REMOVALS SHALL BE COMPLETED TO THE GRADING LINE (OR LIMITS OF A GRADING EASEMENT) UNLESS OTHERWISE APPROVED.
 - ALL WORK SHALL BE IN ACCORDANCE WITH THE PENINSULA TOWNSHIP PRIVATE ROAD STANDARDS AND SPECIFICATIONS.

INSTALL TANKS, DOSING/PUMP CHAMBER, ABSORPTION FIELD AND APPURTENANCES PER THE APPROVED PERMIT FROM THE G.I. CO. HEALTH DEPARTMENT.



Mansfield
 Land Use Consultants

REV	DATE	BY	CHK	DESCRIPTION
13	12/26/13	dm	dm	Issue Emergency Access
14	12/14/13	dm	dm	Alternate Emergency Access
15	12/27/13	dm	dm	Alternate Emergency Access
16	12/14/13	dm	dm	Community Signage Field Layout
17	12/14/13	dm	dm	Waste Storage Tank
18	12/26/14	dm	dm	Construction Plan Revisions
19	12/26/14	dm	dm	Open Space Calculation Updates
20	12/29/14	dm	dm	Permit & Reg. Submittal

The 81 Development Company, LLC
 The 81 on East Bay - PUD
 COMMONS AREA A - SANITARY PLAN & PROFILE
 Section 14, Town 29 North, Range 10 West
 Peninsula Twp., Grand Traverse County, Michigan

SCALE 1"=40' H, 1"=4' V

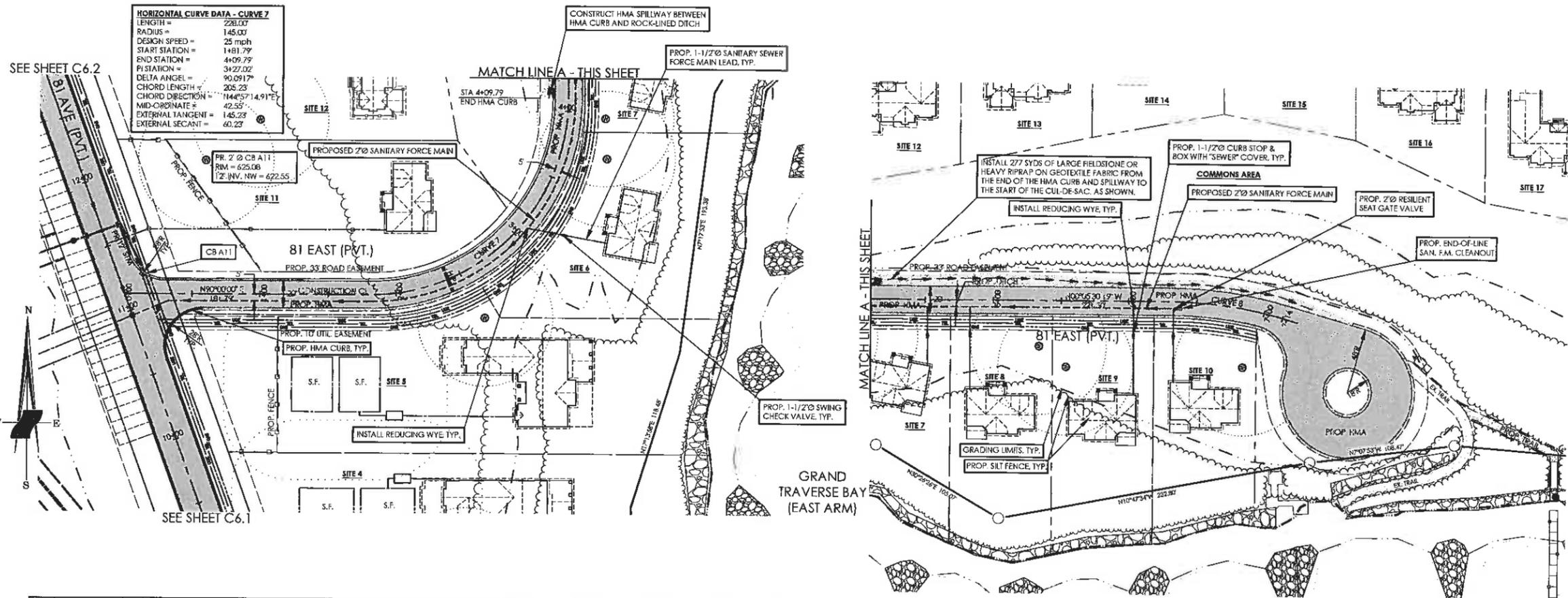
CONSTRUCTION

DATE: 03.05.14

14016

C6.6

C:\Users\mccormack\OneDrive\My Documents\Projects\81 on East Bay\81 on East Bay - PUD\81 on East Bay - PUD - SANITARY PLAN & PROFILE.dwg (C:\Users\mccormack\OneDrive\My Documents\Projects\81 on East Bay\81 on East Bay - PUD\81 on East Bay - PUD - SANITARY PLAN & PROFILE.dwg)



BM#1: ELEV = 629.05
 NAIL ROOT 48" MAPLE
 N 10752.2418 E 11264.4687
 BM#2: ELEV = 674.52
 NAIL ROOT 18" MAPLE
 N 12276.6579 E 11100.2573
 BM#3: ELEV = 734.81
 NAIL ROOT 24" TWIN OAK
 N 11258.6169 E 10247.1784
 BM#4: ELEV = 624.38 NAVD'98
 SPIKE IN POWER POLE
 N 10054.5878 E 10649.0910

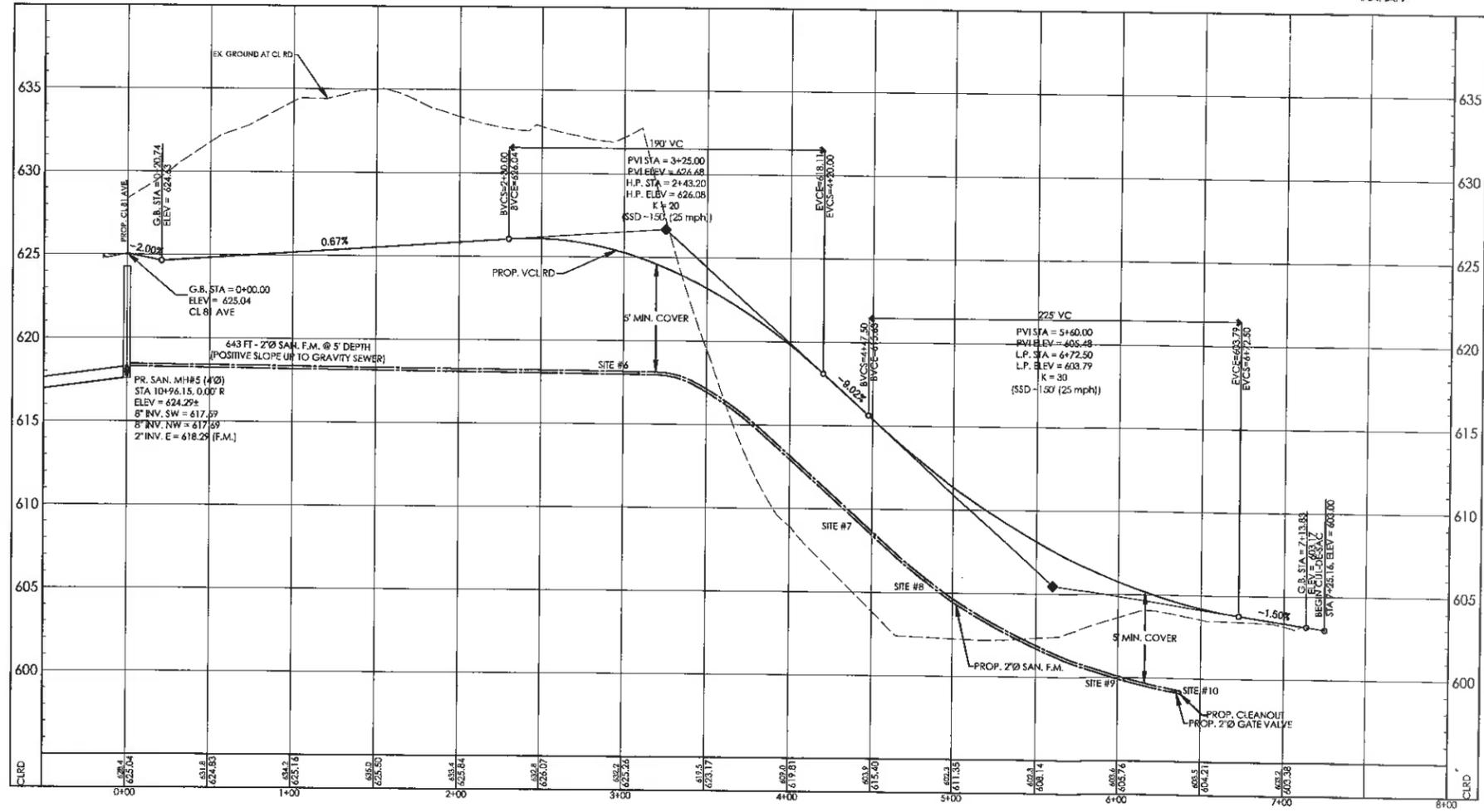
HORIZONTAL CURVE DATA - CURVE 8

LENGTH =	82.55'
RADIUS =	292.00'
DESIGN SPEED =	25 mph
START STATION =	6431.28'
END STATION =	7413.83'
PI STATION =	6472.53'
DELTA ANGLE =	16.1970°
CHORD LENGTH =	82.27'
CHORD DIRECTION =	N08°00'24.48"E
MID-ORDINATE =	2.91'
EXTERNAL TANGENT =	41.55'
EXTERNAL SECANT =	2.94'

Mansfield
 Land Use Consultants

REV.	DATE	BY	CHK.	DESCRIPTION
13	07-04-15	dlm	mmv	Revised Easement Access
14	07-14-15	dlm	mmv	Added Easement Access
15	07-27-15	dlm	mmv	Added Easement Access
16	12-14-15	dlm	mmv	Added Easement Access
17	01-15-16	dlm	mmv	Added Easement Access
18	01-15-16	dlm	mmv	Added Easement Access
19	01-28-16	dlm	mmv	Added Easement Access
20	02-29-16	dlm	mmv	Added Easement Access

- GENERAL CONSTRUCTION NOTES:**
- CLEARING AND INDIVIDUAL TREE REMOVALS SHALL BE COMPLETED TO THE GRADING LINE (OR LIMITS OF A GRADING EASEMENT) UNLESS OTHERWISE APPROVED.
 - ALL WORK SHALL BE IN ACCORDANCE WITH THE PENINSULA TOWNSHIP PRIVATE ROAD STANDARDS AND SPECIFICATIONS.



The 81 Development Company, LLC
 The 81 on East Bay - PUD
 THE 81 EAST - PLAN & PROFILE: P.O.B. TO P.O.E.
 Section 14, Town 29 North, Range 10 West
 Peninsula Twp., Grand Traverse County, Michigan

SCALE: 1"=40' H, 1"=4' V

CONSTRUCTION
DATE: 03.08.14
NO: 14016
C6.7

Jim Hirschenberger

From: Daniel Thorell <dthorell@gtchd.org>
Sent: Wednesday, February 18, 2015 1:15 PM
To: Michelle Reardon
Cc: Jim Hirschenberger
Subject: Status of the "81 on East Bay" site condominium development

Michelle

I know that a meeting is forthcoming regarding this proposed site-condo and wanted to give you a status update in regards to the review by the Grand Traverse County Health Department. Soils evaluations were done with Jim Hirschenberger of Mansfield and Associates on January 16th. Test holes were excavated in the proposed initial and reserve areas for the community dispersal field and also on units 1-4 where individual onsite wastewater systems are proposed. Soils were suitable for wastewater dispersal. Once the community system design is completed, it will be submitted to the GTCHD and DEQ for review. The system will require a septic permit from GTCHD and a part 41 permit from DEQ.

A test well permit has been issued for a well to be drilled on unit 21 for the purpose of evaluating water quality and quantity for individual units in the development. Once the well is complete, the well log, analytical results, and aquifer pump test results will be submitted to GTCHD for review.

If you have any questions, please contact me.

Daniel R. Thorell, M.S., R.S.
Environmental Sanitarian
Grand Traverse County Health Department
Environmental Health Division
2650 LaFranier Rd
Traverse City, MI 49686

231.995.6021

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4125 Cedar Run Rd., Suite B
 Traverse City, MI 49684
 Phone 231-946-6767
 Fax 231-946-8741
 www.sosanalytical.com

COMPANY: CLUFF WELL DRILLING
 NAME: THE 81 DEVELOPMENT CO
 PROJECT NO:
 WSSN:
 WELL PERMIT:
 TAX ID:
 LOCATION:
 TRAVERSE CITY
 MI
 COUNTY: GRAND TRAVERSE
 TWP: PENINSULA

SOS PROJECT NO: 150907
 SAMPLED BY: MIKE
 DATE SAMPLED: 3/25/2015
 TIME SAMPLED: 10:15 AM
 SAMPLE MATRIX: DRINKING WATER
 DATE RECEIVED: 3/25/2015
 TIME RECEIVED: 10:55 AM

SM9223 COLIFORM BACTERIA - PRESENCE/ABSENCE

<u>No:</u>	<u>SAMPLE RESULT</u>	<u>Drinking Water Reg Limit(MCL)</u>	<u>ANALYST</u>	<u>Date Completed</u>
SAMPLE ID: WELL				
			KMJ	3/26/2015
TOTAL COLIFORM BACTERIA	ABSENT	ABSENT		
E. coli BACTERIA	ABSENT	ABSENT		

MCL = MAXIMUM CONTAMINANT LEVEL

APPROVED BY: Shanna Shea
 SHANNA SHEA
 LAB MANAGER



Water Well And Pump Record

Completion is required under authority of Part 127 Act 368 PA 1978.



Failure to comply is a misdemeanor.

Port ID: No: 281111400100		Permit No: 36670		County: Grand Traverse		Township: Peninsula	
Well ID: 28000015074				Town/Range: 29N 10W	Section: 14	Well Status: Active	WSSN:
				Distance and Direction from Road Intersection: N SIDE OF BOURSAW ROAD, LOT 21			
Elevation:				Well Owner: THE 81 DEVELOPMENT CO.			
Latitude: 44.91964				Well Address: LOT 21 BOURSAW ROAD TRAVERSE CITY, MI 49686		Owner Address: 6978 DIXIE HWY CALRKSTON, MI 48346	
Longitude: -85.49102							
Method of Collection: GPS Std Positioning Svc SA Off							

Drilling Method: Rotary	Pump Installed: No
Well Depth: 323.00 ft.	Pressure Tank Installed: No
Well Type: New	Pressure Relief Valve Installed: No
Well Use: Test well	
Date Completed: 3/5/2015	
Casing Type: PVC plastic	
Height: 2.00 ft. above grade	
Casing Joint: Solvent welded/glued	
Casing Fitting: None	
Diameter: 5.00 in. to 318.00 ft. depth SDR: 21.00	
Borehole: 8.50 in. to 323.00 ft. depth	

Static Water Level: 92.00 ft. Below Grade	Formation Description		Thickness	Depth to Bottom
	Well Yield Test: Yield Test Method: Air			
Pumping level 108.00 ft. after 4.00 hrs. at 25 GPM	Clay & Gravel	46.00	46.00	
	Clay	5.00	51.00	
	Sand	11.00	62.00	
	Clay	5.00	67.00	
	Sand & Gravel	91.00	158.00	
	Clay	122.00	280.00	
	Clay	36.00	316.00	
	Sand	7.00	323.00	

Screen Installed: Yes	Filter Packed: Yes
Screen Diameter: 3.00 in.	Blank: 2.00 ft. Above
Screen Material Type: Stainless steel-wire wrapped	
Slot Length Set Between	
12.00 5.00 ft. 318.00 ft. and 323.00 ft.	
Fittings: Neoprene packer	

Well Grouted: Yes	Grouting Method: Grout pipe outside casing
Grouting Material: Bentonite slurry	Bags: 28.00
Additives: None	Depth: 0.00 ft. to 313.00 ft.

Wellhead Completion: Pitless adapter	Drilling Machine Operator Name: MIKE KILINSKI
	Employment: Employee
	Contractor Type: Water Well Drilling Contractor
	Reg No: 28-2187
	Business Name: Cluff Well Drilling Company
	Business Address: 6222 E. Traverse Hwy., Traverse City, MI, 49684
	Water Well Contractor's Certification
	This well/pump was constructed under my supervision and I hereby certify that the work complies with Part 127 Act 368 PA 1978 and the well code.
	Signature of Registered Contractor
	Date

General Remarks:
Other Remarks:

Michelle Reardon

From: Daniel Thorell <dthorell@gtchd.org>
Sent: Thursday, March 10, 2016 3:18 PM
To: Michelle Reardon
Cc: Jim Hirschenberger
Subject: Status of test well at "81 on East Bay"

Michelle

The test well was drilled to a depth of 323 feet and has penetrated significant protective overburden. The aquifer pump test was satisfactory with sufficient yield. The water sample results indicated that all parameters tested below regulatory limits. Therefore, the test well results will allow approval of the use of individual wells for the development. The minimum well depth will be 320 feet at the elevation of the test well.

Please let me know if you have any questions.

Daniel R. Thorell, M.S., R.S.
Environmental Health Coordinator
Grand Traverse County Health Department
Environmental Health Division
2650 LaFranier Rd
Traverse City, MI 49686

231.995.6021

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GRAND TRAVERSE COUNTY SHERIFF'S OFFICE
Thomas J. Bensley, Sheriff • Nathan Alger, Undersheriff

Administration

851 Woodmere Avenue, Traverse City, MI 49686-3349 • (231) 995-5000 • FAX (231) 995-5010

Corrections

320 Washington Street, Traverse City, MI 49684-2583 • (231) 922-4530 • FAX (231) 922-4415

January 22, 2015

Peninsula Township Planning Commission
13235 Center Road
Traverse City, MI 49686

On January 12, 2015 the Grand Traverse County Sheriff's Office received site plan copies and a description for a proposed 81 +/- parcel development to be located at the intersection of Boursaw Road and Bluff Road in Peninsula Township. The documents were received from Mansfield Land Use Consultants of 830 Cottageview Drive, Suite 201, TC, MI 49685. After reviewing the site plans and the site itself for traffic, safety and security concerns this department finds the following:

- We see nothing objectionable in the submitted site plans within the areas of the responsibility of the Sheriff's Department.
- Nothing in the site plan appears pertinent to the responsibilities of the Sheriff's Department.
- There is insufficient information for our agency to comment.
- The following deficiencies or recommendations in the site plan are noted:

Referred to the Peninsula Township Planning Commission on:
January 22, 2015

Sincerely,

Thomas Bensley, SHERIFF
by;

Lt. Chris Barsheff



Jim Hirschenberger P.E.
Mansfield Land Use Consultants

The 81 on the East Bay

Jim,

After my review of your latest drawings and detailed description of the water storage tank (*system*) planned for **The 81 on the East Bay** development, I offer the following...

The list of concerns that the Fire Department brought forward during a joint meeting with representatives from Mansfield Land Consultants and the Owner/Developer, conducted on January 21, 2016 at the offices of Kuhn Rogers PLC... all appear to have been fully addressed. The redesign of the slope of the bottom of the tank, specific language identifying the exclusive use of stainless steel piping, brackets, etc. in the assembly of the tank components, confined space warning signage, as well as the addition of a vehicle access pad directly adjacent to the tank, for the positioning of fire apparatus assigned to drafting water from the tank, were all included in the latest drawings and tank requirements. With that being the case... The Peninsula Fire Department approves the plans as submitted.

Language was also included that directs the Owner's chosen construction company to coordinate the component(s) and installation of the tank "system" with representatives from the Peninsula Fire Department. This will bring the involved parties in contact with each other during the actual construction process which reduces the potential of the project being completed without consensus between the parties, which is ultimately the desired outcome.

I would like to compliment your firm and the Owner/Developer representatives for addressing these technical issues concerning the design and installation of the tank system early on in the planning process. The preliminary work that's been done to this point, should set the course for a successful (tank installation) project.



Steve Ronk
Peninsula Fire Department
February 24, 2016

Jim Hirschenberger P.E.
Mansfield Land Use Consultants

RECEIVED
APR 11 2016
BY: MR

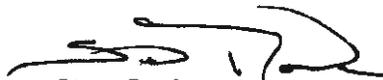
The 81 on the East Bay

Jim, Petra...

Per your phone request for additional clarification regarding the Emergency Access Road for the 81 on the East Bay project, I submit the following.

As outlined in the project approval documents with Peninsula Township, two options were presented. First option was a gated emergency access road connecting with Trevor Road... the second option would be an emergency access road connecting the cul-de-sac at the end of 81 Avenue with 81 Avenue near the underground water storage tank, thus "looping" 81 Avenue with a gated emergency access road.

With the Trevor road connector option off the table... the second option, to connect 81 Avenue with an emergency access road (from the cul-de-sac to the underground storage tank) meets the approval of and is acceptable to the Peninsula Fire Department. This statement is only meant to further support any and all documents previously agreed to, between Peninsula Township and the developer(s) of the project.



Steve Ronk
Peninsula Fire Department
April 9, 2016



Memorandum

1881 LaFranier Road
Traverse City, Michigan
49696

Phone (231) 922-4848
Fax (231) 929-1836

Date: May 27, 2014

To: Jim Hirschenberger, P.E. – Mansfield Land Use Consultants

From: Rob Duranczyk, P.S., - Surveyor Grand Traverse County Road Commission

Copy: Jim Cook, Manager, Jim Johnson, P.E., County Highway Engineer
Garth Greenan, P.E., Traffic Services Supervisor
Ms. Judy Robinson, Owner/Developer

Subject: Conceptual Land Development Review of “The 81 on East Bay - PUD” in
Sec. 14, T29N, R10W, Peninsula Township, Grand Traverse County

The Grand Traverse County Road Commission staff has received and reviewed the conceptual Land Development Review submittal application for the above named development plan. Please note the following comments, questions and recommendations:

1. The staff of the Grand Traverse County Road Commission has no objections to the conceptual plans as they have been submitted; however, additional local agency submittals and reviews may require engineering changes by the Consultant to the proposed development, subjecting the development to future Grand Traverse County Road Commission comments.
2. At present, the driveway permit submitted to the Grand Traverse County Road Commission cannot be processed until preliminary approval for the development has been approved by Peninsula Township.

If you have any questions regarding this Land Development Review, please feel free to contact me at 231.922.4848.

Regards,

A handwritten signature in black ink, appearing to read "Rob Duranczyk".

Rob Duranczyk, PS - Surveyor
Grand Traverse County Road Commission
1881 LaFranier Road
Traverse City, MI 49686-9811



ROBERT A. COONEY
PROSECUTING ATTORNEY

324 COURT STREET
TRAVERSE CITY, MICHIGAN 49684-9958
(231) 922-4600 • FAX (231) 922-4698

February 24, 2016

Mr. Joseph Quandt
412 South Union Street
Traverse City, MI 49684

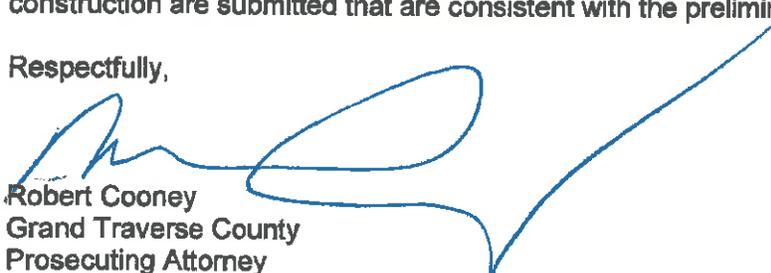
RE: Preliminary Review #23414 for approval of proposed "The 81 on East Bay" residential PUD, Parcel 28-11-114-001-00 & 28-11-114-003-00 Peninsula Township, Grand Traverse County, Michigan

Dear Mr. Quandt:

Per your letter of February 2, 2016, I have communicated with the Soil Erosion and Sedimentation Division of Grand Traverse County relating to reasonable assurance of issuing a permit for the above identified parcels.

A Preliminary Review was conducted on January 22, 2015 and a letter stating the Soil Erosion Department findings was sent (attached). While the County cannot guarantee that a permit will be issued, we can provide reasonable assurance that it will be issued if final drawings for construction are submitted that are consistent with the preliminary approval.

Respectfully,


Robert Cooney
Grand Traverse County
Prosecuting Attorney

Enclosure

pc: Jean Derenzy, Deputy Director Planning and Development
Bruce Remail, Building Official





COPY

GRAND TRAVERSE COUNTY
SOIL EROSION - SEDIMENTATION CONTROL DEPARTMENT
2650 LAFRANIER ROAD
TRAVERSE CITY, MICHIGAN 49686
FAX (231) 995-6052 TEL (231) 995-6042

January 23, 2015

Mansfield Land Use Consultants
Jim Hirschenberger
830 Cottageview Dr., Suite 201
Traverse City, MI 49685

RE: Preliminary Review # 23414 for approval of proposed "The 81 on East Bay" residential PUD, Parcel 28-11-114-001-00 & 28-11-114-002-00 Peninsula Township, Grand Traverse County, Michigan

Dear Sirs:

This office has reviewed the submitted plans prepared by Mansfield Land Use Consultants, Job Number 14016, dated 03-05-14. We also field checked the parcel on January 22, 2015 and compared it to the proposed development plans.

The site has steep wooded slopes on the West, North and East. There is a nearly vertical, wooded bluff which drops to water level in East Bay. The center of the site has gently rolling slopes which slope to the west. The soils map indicates mostly Leelanau sands on the steeper slopes and where the residential lots are proposed. Those sandy soils will provide good infiltration rates. The proposed "common area" contains Richter loams which provide less infiltration, but are not planned to be used for lots or required infiltration. The drainage basin is proposed to be located in East Lake Mancelona loamy sands which will also provide adequate drainage. It should be noted that wetlands exist in the south west side of the site. A 25 foot buffer is required to protect it.

A grading and stabilization plan will be required from the contractor prior to grading the steep slopes near the bluff. It will need to demonstrate that the undisturbed bluff will be protected and that the graded area will be adequately stabilized to prevent erosion. This office recommends a double row of silt fence where silt fence is indicated on the site plan. In addition, individual lot grading will need to carefully follow the submitted plan so that storm water and soil will not be directed onto neighboring lots.

A permit from MI DEQ will be required to install the dock and boat slips in the water. Any additional work below the Ordinary High Water Mark will also need to be included in the MI DEQ permit. A construction schedule, surety and a statement designating the entity that will be responsible for maintenance of permanent SESC measures will also be required prior to issuance of a soil erosion control permit by this office.

Based on the above comments and the Construction Notes in the submitted site plan, this office grants conceptual approval for the development as proposed.

If you have any questions or concerns regarding this decision please feel free to contact me at 231-995-6042

Respectfully,

Gwendolyn Zagore
Grand Traverse County Soil Erosion Inspector



RICK SNYDER
GOVERNOR

STATE OF MICHIGAN
DEPARTMENT OF ENVIRONMENTAL QUALITY
CADILLAC DISTRICT OFFICE



DAN WYANT
DIRECTOR

March 5, 2015

The 81 Development Co., LLC
c/o Mr. Kevin O'Grady
6978 Dixie Hwy, Suite A
Clarkston, Michigan 48346

Dear Mr. O'Grady:

SUBJECT: DEQ File Number 15-28-0004-P
Property Tax ID#: 28-11-114-002-00 Boursaw Road, Traverse City, Michigan
T29N, R10W, Section 14; Peninsula Township, Grand Traverse County

The Department of Environmental Quality's (DEQ), Water Resources Division has completed the review of your application and plans filed with this office for your proposed marina project. The review indicates that the proposed project does not require a permit under Part 325, Great Lakes Submerged Lands, of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended (NREPA) for this dockage on East Grand Traverse Bay. Accordingly, your file has been closed and no further action will be taken.

This letter does not obviate the necessity of obtaining permits under the provisions of Part 91, Soil Erosion and Sedimentation Control, of the NREPA, or permits from other governmental units.

If you have any questions, please feel free to contact me at this office by e-mail at SchmidtR1@michigan.gov or at the phone number below.

Sincerely,

Robyn L. Schmidt
Water Resources Division
231-383-5952

cc: Ms. Petra Kuehins, Mansfield Land Use Consultants- via e-mail
Peninsula Township- via e-mail
Grand Traverse County CEA- via e-mail
Ms. April Champion, USACE, Detroit-via e-mail



DEPARTMENT OF THE ARMY
DETROIT DISTRICT, CORPS OF ENGINEERS
477 MICHIGAN AVENUE ROOM 603
DETROIT MI 48226-2550

July 21, 2015

REPLY TO
ATTENTION OF:

Engineering & Technical Services
Regulatory Office
File No. LRE-1998-560130-S15

Petra Kuehins
Mansfield Land Use Consultants
Agent for: The 81 Development Company, LLC
830 Cottageview Drive – Suite 201
Traverse City, Michigan 49685

Dear Ms. Kuehins:

We are writing in response to your request for a Department of the Army permit. Enclosed are two copies of an initial proffered permit for your signature.

Also enclosed with this letter is a document titled "Notification of Appeals Process," which outlines your options regarding the initial proffered permit. If you accept the permit, sign and return both complete permits. Your special attention is invited to the Special Conditions. Please read these and all other permit conditions before signing. Your signature constitutes your specific agreement to all terms and conditions of the permit. If you accept the initial proffered permit, you do not need to sign or submit the appeals form. Whether you elect to sign the permits or return the appeals document, your response is required within 60 days from the date of this letter.

If you sign the permits, we require a fee of \$100.00 prior to final action on your permit request. Please make your check or money order payable to FAO, USAED, Detroit, and submit it together with both of your signed permits (including all pages and drawings) to our office. Upon receipt, the District Engineer or his designee is authorized to issue the permit on behalf of the Secretary of the Army by countersigning the draft permits. If issued, we will return one of the countersigned permits to you.

The work subject to this permit will occur in a navigable water of the United States. The Detroit District, U.S. Army Corps of Engineers has previously made a determination of jurisdiction (JD) for the navigable waters within the geographic area under the Detroit District's regulatory authority and posted a copy of the approved JD for those waters online at:

<http://www.lre.usace.army.mil/Portals/69/docs/regulatory/PDFs/GENSEC10.pdf>. If you are not in agreement with this approved JD, you can make an administrative appeal under 33 CFR 331. We have enclosed a form entitled Notification of Administrative Appeals Options and Process and Request for Appeal, describing all of your appeals options regarding this approved JD. If you elect to return the appeals document, your response is required within 60 days from the date of this letter. Please contact us if you have questions on our appeals process and/or wish to have us provide you with a copy of our approved JD.

Should you have any questions on this matter, please contact Kristi DeFoe at the above address, by E-Mail at Kristi.M.DeFoe@usace.army.mil, or by telephone at 313-226-7718. In all communications, please refer to File Number LRE-1998-560130-S15.

We are interested in your thoughts and opinions concerning your experience with the Detroit District, Corps of Engineers Regulatory Program. If you are interested in letting us know how we are doing, you can complete an electronic Customer Service Survey from our web site at: http://corpsmapu.usace.army.mil/cm_apex/f?p=136:4:0. Alternatively, you may contact us and request a paper copy of the survey that you may complete and return to us by mail or fax. Thank you for taking the time to complete the survey, we appreciate your feedback.

Sincerely,



Charles M. Simon
Chief, Permit Evaluation Western Branch
Regulatory Office

Enclosures

Wetland Delineation Report

**Boursaw Road, Peninsula Township
Grand Traverse County
Michigan**

Prepared For:

Mr. Kevin O'Grady
Insight Building Company
6978 Dixie Highway, Suite A
Clarkston, Michigan 48346

Prepared by:

GEI Consultants of Michigan, P.C.
6666 Bunker Hill Road
Williamsburg, Michigan 49690
517-525-3882



June 15, 2015

Wetland Delineation and Assessment Report

TABLE OF CONTENTS

1.0	INTRODUCTION	1
2.0	METHODS.....	1
3.0	RESULTS AND DISCUSSION	3
4.0	CONCLUSIONS AND RECOMMENDATIONS.....	8

FIGURES:

Figure 1: Site Location Map

Figure 2: Wetland Delineation Map

APPENDICES:

Appendix A: USACE/MDEQ Wetland Determination Data Forms

Appendix B: Representative Photographs

1.0 INTRODUCTION

At the request of Mr. Kevin O'Grady of Insight Building Company, with appreciation to Jim Hirschenberger, P.E. of Mansfield Land Use Consultants, GEI Consultants of Michigan, P.C. (GEI) conducted a wetland delineation and assessment of wetlands associated with property located north of Boursaw Road, Section 14, Peninsula Township, Grand Traverse County, Michigan. The purpose for the delineation was to determine presence or absence of wetlands in the southern portions of the development property (just north of Boursaw Road) and if present to delineate and map/survey the boundaries of these wetlands.

2.0 METHODS

A wetland area was identified on the subject property and was delineated in accordance with recent changes to Part 303 of NREPA using the United States Army Corps of Engineers (USACE) 1987 Wetland Delineation Manual and the Northeast and Northcentral Regional Supplement. This methodology has been adopted by the Michigan Department of Environmental Quality (MDEQ) and includes investigation and analysis of vegetation, soils, and hydrology.

A dominance of wetland rated plants, soils with field indicators of hydric soils coupled with visual signs of hydrology at the surface or within the soil profile were used to confirm the presence of, or the development of, wetlands. A dominance of upland rated plants, soils lacking field indicators of hydric soils and/or visual signs of hydrology were used to confirm the presence of upland surrounding the delineated wetlands.

Wetland boundaries were flagged and sequentially numbered in the field using pink flagging tape. Wetland boundaries were surveyed using a Trimble sub-meter global positioning system (GPS). USACE wetland data forms for the Northeast and Northcentral Region were completed to document wetland boundaries and to provide an understanding of the wetland parameters (soils, plants and hydrology) associated with the delineated wetland/upland boundary.

3.0 RESULTS AND DISCUSSION

On June 8, 2015 GEI identified, delineated, and mapped a wetland complex located in the southern portion of the project development. Figure 2 shows the location and configuration of the wetland/upland boundaries. MDEQ/USACE Wetland Data forms documenting the delineated wetland boundaries for the wetland complex are provided in

Appendix A. Representative photographs of the wetland/upland data points are provided in Appendix B¹.

The wetland complex is identified by the United States Fish and Wildlife Service National Wetland Inventory map as a palustrine forested wetland, dominated by broad-leaf deciduous woody vegetation, which is seasonally flooded. GEI concurs with this classification and further offers that this forested wetland complex also contains a wide variety of scrub shrub and emergent wetland vegetation interspersed beneath this forested wetland canopy.

The two dominant tree species identified within both the tree overstory and the shrub strata of this forested wetland complex are trembling aspen (*Populus tremuloides*) and green ash (*Fraxinus pennsylvanica*). Within the herbaceous stratum of this wetland complex several forested (woodland) species were prevalent and included, but not limited to, sensitive fern (*Onoclea sensibilis*), white avens (*Geum canadense*), poison ivy (*Toxicodendron radicans*), and numerous sedge species (*Carex intumescens*, *C. stricta*, *C. gracillima*, *C. scoparia*, *C. lupulina*). Representative photographs of the wetland are provided in Appendix B.

The upland edges of this wetland complex were dominated by a couple of upland rated violet species which are facultative upland-related; specifically Canadian white violet (*V. canadensis*) and Downy yellow violet (*V. pubescens*). Mixed in with these species was also burdock (*Arctium minus*), greater enchanter's nightshade (*Circaea lutetiana*), and herb Robert (*Geranium robertianum*).

4.0 CONCLUSIONS AND RECOMMENDATIONS

It is GEI's professional opinion that the wetland associated with the southern end of this development is regulated by the MDEQ pursuant to Part 303 of NREPA since it is located within 1,000 linear feet of Lake Michigan (waters influenced by the Great Lakes). The USACE would also regulate this wetland since it is within 1,500 linear feet of the Great Lakes (navigable Waters of the U.S.) pursuant to Section 404 of the Clean Water Act of 1972. A permit is needed from both agencies for any proposed dredging, filling, draining or maintained use or development of this wetland. A permit from these agencies would not be required if none of the aforementioned activities are proposed within this wetland. Please note, both agencies utilize the same permit application form.

A permit pursuant to Part 91, Soil Erosion and Sedimentation Control, of NREPA, administered by Grand Traverse County will be required for any earth change activities in excess of 1 acre in size or which are located within 500 feet of the ordinary high water

¹ Additional photographs of the area were taken but are not presented in Appendix A due to the larger number of photographs taken and to which only representative photographs of the project area are provided in the Appendix A. The additional photographs are available upon request.

mark of Lake Michigan. No other defined streams or watercourses were identified within the southern portions of this property (north of Boursaw Road).

FIGURES

Figure 1: Site Location Map

Figure 2: Wetland Delineation Map



U:\Wetland_Let1_Disc_Contract\GIS\30_Peninsula_Township_Photo1\GIS\Wetland_Delineation.mxd
 Source Layer: Credits: Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS,
 AEX, GeoEye, AeroGRID, IGN, SDA, AeroGRID, and the GIS User Community

June, 2015

APPENDICES

Appendix A

USACE Wetland Data Forms

WETLAND DETERMINATION DATA FORM – Northcentral and Northeast Region

Project/Site: BOURSAW ROAD City/County: PENINSULA TWP Sampling Date: 6/8/15
 Applicant/Owner: KEVIN O'GRADY - TRINITY BROS. Co. State: MI Sampling Point: DP01
 Investigator(s): S. KOSSE, PWS Section, Township, Range: SECTION 14 OF PENINSULA TWP
 Landform (hillslope, terrace, etc.): TERACE Local relief (concave, convex, none): CONCAVE Slope (%): 0
 Subregion (LRR or MLRA): L Lat: 44.913978 Long: -85.492845 Datum: NAD80
 Soil Map Unit Name: ADRIAN MUCK NWI classification: PFO1C
 Are climatic / hydrologic conditions on the site typical for this time of year? Yes No (if no, explain in Remarks)
 Are Vegetation N Soil N or Hydrology N significantly disturbed? Are "Normal Circumstances" present? Yes No
 Are Vegetation N Soil N or Hydrology N naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Is the Sampled Area within a Wetland?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Hydric Soil Present?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	If yes, optional Wetland Site ID:	
Wetland Hydrology Present?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		
Remarks: (Explain alternative procedures here or in a separate report.)			

HYDROLOGY

Wetland Hydrology Indicators:		Secondary Indicators (minimum of two required)	
<u>Primary Indicators (minimum of one is required, check all that apply)</u>		<input type="checkbox"/> Surface Soil Cracks (B6) <input type="checkbox"/> Drainage Patterns (B10) <input type="checkbox"/> Moss Trim Lines (B16) <input checked="" type="checkbox"/> Dry-Season Water Table (C2) <input type="checkbox"/> Crayfish Burrows (C8) <input type="checkbox"/> Saturation Visible on Aerial Imagery (C9) <input type="checkbox"/> Stunted or Stressed Plants (D1) <input checked="" type="checkbox"/> Geomorphic Position (D2) <input checked="" type="checkbox"/> Shallow Aquitard (D3) <input checked="" type="checkbox"/> Microtopographic Relief (D4) <input type="checkbox"/> FAC-Neutral Test (D5)	
<input type="checkbox"/> Surface Water (A1) <input type="checkbox"/> High Water Table (A2) <input type="checkbox"/> Saturation (A3) <input type="checkbox"/> Water Marks (B1) <input type="checkbox"/> Sediment Deposits (B2) <input type="checkbox"/> Drift Deposits (B3) <input type="checkbox"/> Algal Mat or Crust (B4) <input type="checkbox"/> Iron Deposits (B5) <input type="checkbox"/> Inundation Visible on Aerial Imagery (B7) <input checked="" type="checkbox"/> Sparsely Vegetated Concave Surface (B8)	<input checked="" type="checkbox"/> Water-Stained Leaves (B9) <input type="checkbox"/> Aquatic Fauna (B13) <input type="checkbox"/> Mire Deposits (B15) <input type="checkbox"/> Hydrogen Sulfide Odor (C1) <input type="checkbox"/> Oxidized Rhizospheres on Living Roots (C3) <input type="checkbox"/> Presence of Reduced Iron (C4) <input type="checkbox"/> Recent Iron Reduction in Tilled Soils (C6) <input type="checkbox"/> Thin Muck Surface (C7) <input type="checkbox"/> Other (Explain in Remarks)		
Field Observations: Surface Water Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Depth (inches): Water Table Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Depth (inches): Saturation Present? (includes capillary fringe) Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Depth (inches):		Wetland Hydrology Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:			
Remarks: <u>WATER STAINED CORNERS, HUMMOCKED GROUND</u> <u>FIGURE A54 ADRIAN TO DATA POINT</u>			

VEGETATION - Use scientific names of plants.

Sampling Point: DP#1

Tree Stratum (Plot size: <u>30'</u>)	Absolute % Cover	Dominant Species?	Indicator Status
1. <u>Populus tremuloides</u>	<u>5</u>	<u>Yes</u>	<u>FAC</u>
2. <u>Ulmus americana</u>	<u>5</u>	<u>Yes</u>	<u>FACW</u>
3.			
4.			
5.			
6.			
7.			
<u>10</u> = Total Cover			
Sapling/Shrub Stratum (Plot size: <u>15'</u>)	Absolute % Cover	Dominant Species?	Indicator Status
1. <u>Populus tremuloides</u>	<u>50</u>	<u>Yes</u>	<u>FAC</u>
2.			
3.			
4.			
5.			
6.			
7.			
<u>20</u> = Total Cover			
Herb Stratum (Plot size: <u>5'</u>)	Absolute % Cover	Dominant Species?	Indicator Status
1. <u>Geotr. canadense</u>	<u>15</u>	<u>Yes</u>	<u>FAC</u>
2. <u>Fraxinus pennsylvanica</u>	<u>15</u>	<u>Yes</u>	<u>FACW</u>
3. <u>Symphoricarpon aureo-anglicum</u>	<u>3</u>		<u>FACW</u>
4. <u>Carex striata</u>	<u>5</u>		<u>FACW</u>
5. <u>Carex scoparia</u>	<u>3</u>		<u>FACW</u>
6. <u>Carex intumescens</u>	<u>5</u>		<u>FACW</u>
7. <u>Parthenocissis quinquefolia</u>	<u>1</u>		<u>FACW</u>
8. <u>Carex gracillima</u>	<u>2</u>		<u>FACW</u>
9. <u>Rumex crispus</u>	<u>2</u>		<u>FACW</u>
10.			
11.			
12.			
<u>51</u> = Total Cover			
Woody Vine Stratum (Plot size: <u>30'</u>)	Absolute % Cover	Dominant Species?	Indicator Status
1.			
2.			
3.			
4.			
<u>0</u> = Total Cover			

Dominance Test worksheet:

Number of Dominant Species That Are OBL, FACW, or FAC: 5 (A)

Total Number of Dominant Species Across All Strata: 5 (B)

Percent of Dominant Species That Are OBL, FACW, or FAC: 100 (A/B)

Prevalence Index worksheet:

Total % Cover of: 10 Multiply by:

OBL species _____ x 1 = _____

FACW species _____ x 2 = _____

FAC species _____ x 3 = _____

FACU species _____ x 4 = _____

UPL species _____ x 5 = _____

Column Totals: _____ (A) _____ (B)

Prevalence Index = B/A = _____

Hydrophytic Vegetation Indicators:

1 - Rapid Test for Hydrophytic Vegetation

2 - Dominance Test is >50%

3 - Prevalence Index is ≤3.0¹

4 - Morphological Adaptations¹ (Provide supporting data in Remarks or on a separate sheet)

Problematic Hydrophytic Vegetation¹ (Explain)

¹Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.

Definitions of Vegetation Strata:

Tree - Woody plants 3 in. (7.6 cm) or more in diameter at breast height (DBH), regardless of height.

Sapling/shrub - Woody plants less than 3 in. DBH and greater than or equal to 3.28 ft (1 m) tall.

Herb - All herbaceous (non-woody) plants, regardless of size, and woody plants less than 3.28 ft tall.

Woody vines - All woody vines greater than 3.28 ft in height.

Hydrophytic Vegetation Present? Yes No

Remarks: (Include photo numbers here or on a separate sheet.)

WETLAND DETERMINATION DATA FORM -- Northcentral and Northeast Region

Project/Site: Boursaw Road City/County: PENINSULA TWP, GTC Sampling Date: 6/8/15
 Applicant/Owner: KEVIN O'GRADY - INSIGHT BLOS Co. State: MI Sampling Point: DP#2
 Investigator(s): S. KAGGE, PWS Section, Township, Range: SECTION 14 OF PENINSULA TWP
 Landform (hillslope, terrace, etc.): TERRACE Local relief (concave, convex, none): CONVEX Slope (%) 0-1
 Subregion (LRR or MLRA): L Lat: 44.913936 Long: -85.492835 Datum: NAUGO
 Soil Map Unit Name: ADRIAN MUCK NWI classification: PFOIC
 Are climatic / hydrologic conditions on the site typical for this time of year? Yes X No _____ (If no, explain in Remarks.)
 Are Vegetation N Soil N, or Hydrology N significantly disturbed? Are "Normal Circumstances" present? Yes X No _____
 Are Vegetation N Soil N, or Hydrology N naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS - Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present?	Yes _____ No <u>X</u>	Is the Sampled Area within a Wetland?	Yes _____ No <u>X</u>
Hydric Soil Present?	Yes <u>X</u> No _____	If yes, optional Wetland Site ID: _____	
Wetland Hydrology Present?	Yes _____ No <u>X</u>	Remarks: (Explain alternative procedures here or in a separate report.)	

HYDROLOGY

Wetland Hydrology Indicators:		Secondary Indicators (minimum of two required)	
<u>Primary Indicators (minimum of one is required, check all that apply)</u>		<u>Surface Soil Cracks (B6)</u>	
<input type="checkbox"/> Surface Water (A1)	<input type="checkbox"/> Water-Stained Leaves (B9)	<input type="checkbox"/> Drainage Patterns (B10)	
<input type="checkbox"/> High Water Table (A2)	<input type="checkbox"/> Aquatic Fauna (B13)	<input type="checkbox"/> Moss Trim Lines (B16)	
<input type="checkbox"/> Saturation (A3)	<input type="checkbox"/> Marl Deposits (B15)	<input type="checkbox"/> Dry-Season Water Table (C2)	
<input type="checkbox"/> Water Marks (B1)	<input type="checkbox"/> Hydrogen Sulfide Odor (C1)	<input type="checkbox"/> Crayfish Burrows (C8)	
<input type="checkbox"/> Sediment Deposits (B2)	<input type="checkbox"/> Oxidized Rhizospheres on Living Roots (C3)	<input type="checkbox"/> Saturation Visible on Aerial Imagery (C9)	
<input type="checkbox"/> Drift Deposits (B3)	<input type="checkbox"/> Presence of Reduced Iron (C4)	<input type="checkbox"/> Stunted or Stressed Plants (D1)	
<input type="checkbox"/> Algal Mat or Crust (B4)	<input type="checkbox"/> Recent Iron Reduction in Tilled Soils (C6)	<input type="checkbox"/> Geomorphic Position (D2)	
<input type="checkbox"/> Iron Deposits (B5)	<input type="checkbox"/> Thin Muck Surface (C7)	<input type="checkbox"/> Shallow Aquitard (D3)	
<input type="checkbox"/> Inundation Visible on Aerial Imagery (B7)	<input type="checkbox"/> Other (Explain in Remarks)	<input type="checkbox"/> Microtopographic Relief (D4)	
<input type="checkbox"/> Sparsely Vegetated Concave Surface (B8)		<input type="checkbox"/> FAC-Neutral Test (D5)	
Field Observations:		Wetland Hydrology Present? Yes _____ No <u>X</u>	
Surface Water Present?	Yes _____ No <u>X</u> Depth (inches): _____		
Water Table Present?	Yes _____ No <u>X</u> Depth (inches): _____		
Saturation Present? (includes capillary fringe)	Yes _____ No <u>X</u> Depth (inches): _____		
Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:			
Remarks:			

VEGETATION - Use scientific names of plants.

Sampling Point DDZ

Tree Stratum (Plot size: <u>30'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	Dominance Test worksheet: Number of Dominant Species That Are OBL, FACW, or FAC: <u>2</u> (A) Total Number of Dominant Species Across All Strata: <u>5</u> (B) Percent of Dominant Species That Are OBL, FACW, or FAC: <u>40%</u> (A/B)
1. <u>Populus tremuloides</u>	<u>5</u>	<u>YES</u>	<u>FAC</u>	
2. _____	_____	_____	_____	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
5. _____	_____	_____	_____	
6. _____	_____	_____	_____	
7. _____ _____ = Total Cover <u>5</u>				Prevalence Index worksheet: Total % Cover of: _____ Multiply by: _____ OBL species <u>0</u> x 1 = <u>0</u> FACW species <u>10</u> x 2 = <u>20</u> FAC species <u>12</u> x 3 = <u>36</u> FACU species <u>80</u> x 4 = <u>320</u> UPL species <u>5</u> x 5 = <u>25</u> Column Totals: <u>107</u> (A) <u>401</u> (B) Prevalence Index = B/A = <u>> 3.0</u>
Sapling/Shrub Stratum (Plot size: <u>15'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>Populus tremuloides</u>	<u>5</u>	<u>YES</u>	<u>FAC</u>	
2. <u>Lonicera tatarica</u>	<u>5</u>	<u>YES</u>	<u>FACU</u>	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
5. _____	_____	_____	_____	
6. _____	_____	_____	_____	
7. _____	_____	_____	_____	
_____ = Total Cover <u>10</u>				
Herb Stratum (Plot size: <u>5'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	Hydrophytic Vegetation Indicators: <input type="checkbox"/> 1 - Rapid Test for Hydrophytic Vegetation <input type="checkbox"/> 2 - Dominance Test is >50% <input type="checkbox"/> 3 - Prevalence Index is ≤3.0 ¹ <input type="checkbox"/> 4 - Morphological Adaptations ¹ (Provide supporting data in Remarks or on a separate sheet) _____ Problematic Hydrophytic Vegetation ¹ (Explain) ¹ Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic. Definitions of Vegetation Strata: Tree - Woody plants 3 in. (7.6 cm) or more in diameter at breast height (DBH), regardless of height. Sapling/shrub - Woody plants less than 3 in. DBH and greater than or equal to 3.28 ft (1 m) tall. Herb - All herbaceous (non-woody) plants, regardless of size, and woody plants less than 3.28 ft tall. Woody vines - All woody vines greater than 3.28 ft in height
1. <u>Viola canadensis</u>	<u>40</u>	<u>YES</u>	<u>FACU</u>	
2. <u>Viola pubescens</u>	<u>20</u>	<u>YES</u>	<u>FACU</u>	
3. <u>Geranium robertianum</u>	<u>5</u>	_____	<u>UPL</u>	
4. <u>Toxicodendron radicans</u>	<u>2</u>	_____	<u>FAC</u>	
5. <u>Festuca arundinacea</u>	<u>5</u>	_____	<u>FACU</u>	
6. <u>Phacelia argentea</u>	<u>10</u>	_____	<u>FACU</u>	
7. <u>Bromus inermis</u>	<u>5</u>	_____	<u>FACU</u>	
8. <u>Circaea lutetiana</u>	<u>5</u>	_____	<u>FACU</u>	
9. _____	_____	_____	_____	
10. _____	_____	_____	_____	
11. _____	_____	_____	_____	
12. _____	_____	_____	_____	
_____ = Total Cover <u>92</u>				
Woody Vine Stratum (Plot size: <u>30'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. _____	_____	_____	_____	
2. _____	_____	_____	_____	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
_____ = Total Cover <u>0</u>				
Hydrophytic Vegetation Present? Yes _____ No <u>X</u>				
Remarks: (Include photo numbers here or on a separate sheet.)				

Appendix B

Representative Photographs



Photograph No. 1 – View east along the northern upland/wetland boundary of the forested wetland complex



Photograph No. 2 – View northwest along the northeastern upland/wetland boundary of the forested wetland complex. Note: Mix of common burdock (*Arctium minus*) and curly dock (*Rumex crispus*) within the delineated wetland areas.



Photograph No. 3 – View north from the southern upland/wetland boundary of the forested wetland complex.



Photograph No. 4 – View north at wetland data point (DP01) located north of flag A54.



Photograph No. 5 – View south at upland data point (DP02) located south of flag A54.



**Photograph No. 6 – Soil profile of DP02 (which was similar to DP01).
Note: Restrictive layer at 12-13” below ground surface and *V. canadensis*
and *V. pubescens* blanketing the ground.**

Petra Kuehins

From: Jim Hirschenberger <jimh@maaeps.com>
Sent: Monday, June 15, 2015 4:19 PM
To: 'Joseph E. Quandt'; 'Petra Kuehins'
Cc: 'Doug Mansfield'; 'Kevin O'Grady'
Subject: RE: 81 on EB finding of facts

The report is coming this week, but not yet. The following is from an email that Stu sent to me.....

"It went well. Out there from 830am-1230pm for delineation, mapping, and data forms/plant lists
There were some old wetland flags. For the most part my line (the current most accurate line that is) had boundaries
downslope from the old ones (less wetland acreage than prior delineation)
Key to dropping line down was predominance by two violet species that were FACU whereas most untrained eyes
would play it safe and call unknown violets (Viola spp) wetland rated"

FACU means facultative upland. These species are generally found in upland areas and not in wetland areas. That's the
main difference between delineations. Ours was more conservative.

Thank You,
Jim Hirschenberger, P.E.

Mansfield Land Use Consultants
Ph: (231) 946-9310 ext. 1007

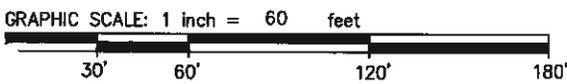
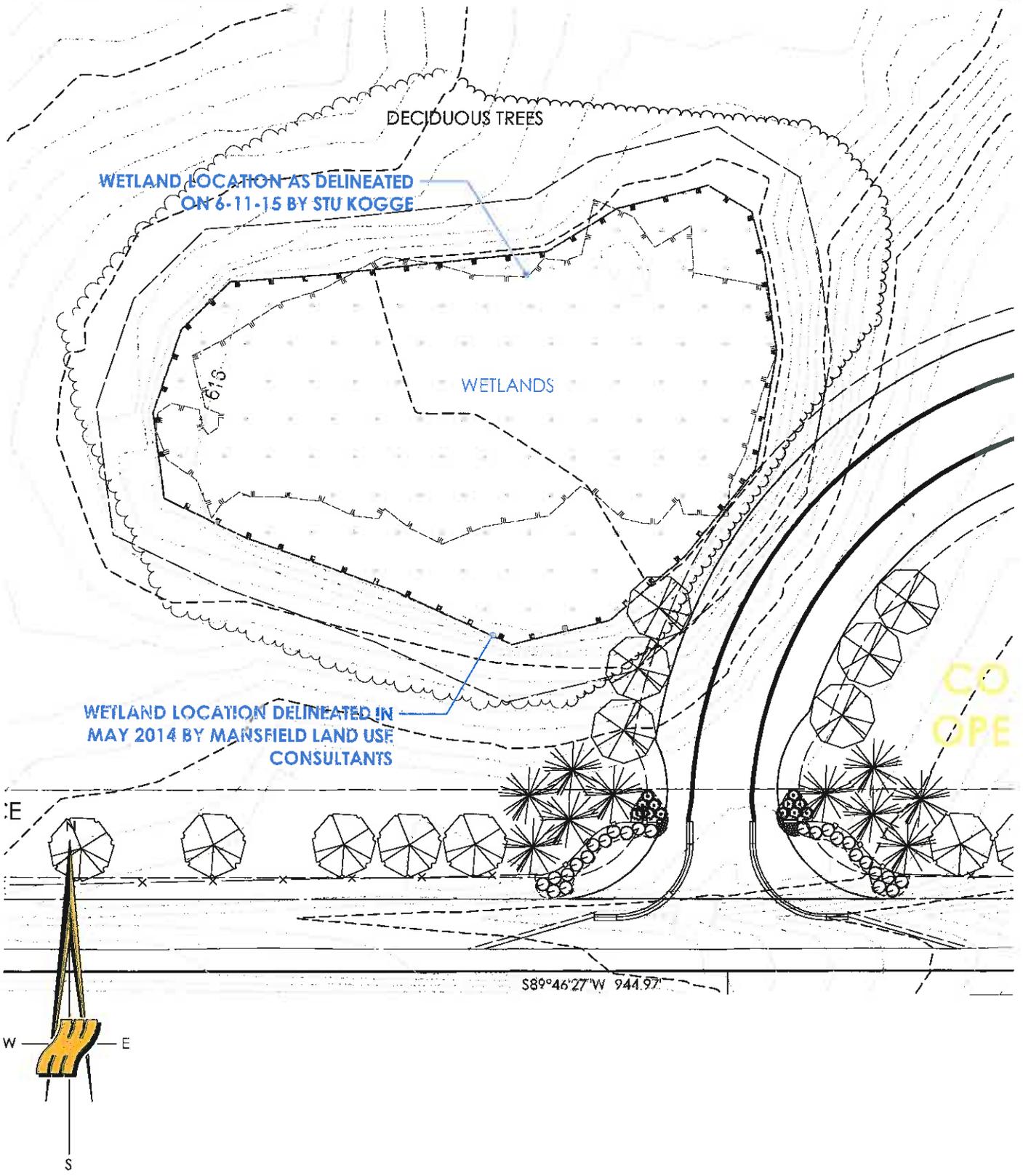
From: Joseph E. Quandt [mailto:jequandt@krlawtc.com]
Sent: Monday, June 15, 2015 4:03 PM
To: Petra Kuehins
Cc: 'Doug Mansfield'; 'Kevin O'Grady'; 'Jim Hirschenberger'
Subject: RE: 81 on EB finding of facts

Thanks. Does he have a letter report stating his findings and why they may differ from Mike's original?

From: Petra Kuehins [mailto:petrak@maaeps.com]
Sent: Monday, June 15, 2015 4:01 PM
To: Joseph E. Quandt
Cc: 'Doug Mansfield'; 'Kevin O'Grady'; 'Jim Hirschenberger'
Subject: RE: 81 on EB finding of facts

Attached is the over lay of Stu Kogge's wetland delineation onto the current delineation.

From: Petra Kuehins [mailto:petrak@maaeps.com]
Sent: Monday, June 15, 2015 3:57 PM
To: 'Joseph E. Quandt'
: 'Doug Mansfield'; 'Kevin O'Grady'; 'Jim Hirschenberger'
Subject: RE: 81 on EB finding of facts



Mansfield
 Land Use Consultants

830 Cottageview Dr., Ste. 201
 P.O. Box 4015
 Traverse City, MI 49685
 Phone: 231-946-9310
 www.maseps.com
 info@maseps.com

The 81 Development Company, LLC		DRN:mmm	CKD:phk
The 81 on East Bay - PUD Wetland Delineation		6.15.15	
		14016	
Peninsula Township, Grand Traverse County, Michigan		SHT 1 OF 1	

March 8, 2016

Michelle L. Reardon
Director of Planning & Zoning
13235 Center Road
Traverse City, MI 49686
planner@peninsulatownship.com

RE: The 81 on East Bay
Revised Site Plan Review

Dear Michelle:

We have reviewed the revised site plan and design information submitted on February 15, 2016 by the Applicant for the referenced project. We offer the following comments for consideration and conditions regarding final approval of the plans.

General

1. The Applicant should provide to the Township any comments or permit status updates from the MDEQ and/or Army Corps of Engineers regarding the proposed pier and dock system.
2. Open space calculations have been reviewed via electronic drawings provided by the Applicant's Consultant. Based upon our review, we concur with the areas and open space calculations reported by the Consultant.
3. Storm water calculations for the project have been previously reviewed, and found to be acceptable with respect to drainage patterns, storm sewer sizing and storm water retention provided.
4. The private road designs in the current plans appear to be consistent with that provided for previous reviews. We find the designs to be acceptable with respect to grading, drainage patterns, and pavement cross-section.

Site Grading

1. We have reviewed the additional grading details provided and find the current designs to be consistent with the discussions contained in the geotechnical engineer correspondence dated June 15, 2015 as it relates to overall slope

stability. As noted by the geotechnical engineers, there will be earth related considerations unique to each site such as placement of engineered fill, and foundation designs beneath structures for Lots 6 through 10. As such it is recommended that geotechnical conditions be reviewed for each unit prior to placement of structures.

2. The additional grading information provided for each building site has been reviewed for Lots 1 through 41. In general, we find the grading concepts to be acceptable. At this time the additional details have been provided on separate small format sheets for each site. In our opinion, this information should be incorporated into the overall project plan set.

Detailed cross-sections have been provided and reviewed for the more critical Lots 6 through 10. The overall concept being proposed for these lots is to establish moderately sloped driveways to The 81 East through the use of fill slopes and multi-level structures. In our opinion, the grading proposed for these lots is feasible. However, as noted in Comment 1 of this section, final designs for placement of structures on these lots should include further detailed geotechnical studies for construction of fill slopes, structure foundation designs, permanent erosion control measures, and maintenance of slopes.

3. Although they appear to be consistent with the existing topography and proposed surrounding conditions, additional grading detail and confirmed drainage patterns should be provided for the cul-de-sacs at the end of The 81 Ave., and The 81 East.

The Applicant should revise the plans and add information based upon the above comments for final review and approval. Please do not hesitate to contact me with any questions regarding this review.

Respectfully Submitted,
GOURDIE-FRASER



Brian M. Boals, PE
Project Manager

March 15, 2016

Michelle L. Reardon
Director of Planning & Zoning
13235 Center Road
Traverse City, MI 49686
planner@peninsulatownship.com

RE: The 81 on East Bay
Revised Site Plan Review

Dear Michelle:

In follow up to our March 8, 2016 review of the site plan for the above referenced project, we have received additional plan revisions for review. A revised site grading sheet has been provided in accordance with Site Grading Comments 2 & 3 from our previous review. Item 2 requested that grading details for the 41 lots/building sites be incorporated into the overall plan set, and Item 3 requested additional grading details for the two roadway cul-de-sacs.

At this time we find the revised grading plan and additional information for the cul-de-sacs to be acceptable, with the intended site grading and drainage patterns for the roadways and building sites communicated sufficiently on the plan set.

By way of this letter we recommend engineering approval for the plans as reviewed. Please do not hesitate to contact me with any questions regarding this review.

Respectfully Submitted,
GOURDIE-FRASER



Brian M. Boals, PE
Project Manager

**PENINSULA TOWNSHIP
RESOLUTION DECLINING RESPONSIBILITY FOR OPERATION
AND MAINTENANCE OF SEWERAGE SYSTEM FOR THE 81 DEVELOPMENT PUD**

Resolution No. 2016-03-15 #1

At a regular meeting of the Peninsula Township Board, Grand Traverse County, Michigan held in the Peninsula Township Hall, located in Peninsula Township, Michigan on March 15, 2016.

PRESENT: Correia, Weatherholt, Byron, Avery, Rosi, Witkop

ABSENT: Hoffman

The following resolution was made by Avery and seconded by Byron, to-wit

Recitals

WHEREAS, under State law a developer of a subdivision, site condominium or other development utilizing a common waste water disposal system must submit to the MDEQ an application for a Part 41 waste water disposal; and

WHEREAS, part of the application requires a resolution and letter on the part of the Township to either accept or decline responsibility for this system in the event that the permittee fails to maintain the system consistent with MCL 324.3109(3).

Resolution

NOW, THEREFORE, BE IT RESOLVED that:

The Peninsula Township Board hereby declines to accept any responsibility for the system being installed on property located at 15634 Smokey Hollow Road and 15636 Bluff Road totaling 82.62 acres and having tax id numbers of 28-11-114-001-00 and 28-11-114-002-00, respectively (hereinafter "The Property").

BE IT FURTHER RESOLVED that:

The Peninsula Township Board authorizes a letter to be issued on Peninsula Township letterhead and signed by the Township Supervisor and the Township Clerk stating that it is the intent of Peninsula Township by and through its board not to accept such responsibility for any community or singular waste water system on the property and that such letter is required on the part of the owner of The 81, being The 81 Development Co., LLC with respect to its application to the MDEQ for a Part 41 waste

water disposal system of the Natural Resources and Environmental Protection Act (NREPA), MCL 324.4101 *et seq.*

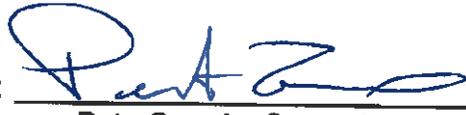
This Resolution shall become effective on the date it is adopted.

YES: Correia, Weatherholt, Byron, Avery, Rosi, Witkop

NO: _____

RESOLUTION DECLARED ADOPTED.

PENINSULA TOWNSHIP

By: 

Pete Correia, Supervisor

I, the undersigned, the Clerk of the Township of Peninsula, Grand Traverse County, Michigan, do hereby certify that the foregoing is a true and complete copy of certain proceedings taken by said municipality at its regular meeting held on March 15, 2016, relative to adoption of the resolution therein set forth; that said meeting was conducted and public notice of said meeting was given pursuant to and in full compliance with the Open Meetings Act, being Act 267, Public Acts of Michigan, 1976, and that the minutes of said meeting were kept and will be or have been made available as required by said Act.

Dated: March 15, 2016

Monica A. Hoffman, Clerk

Peninsula Township
13235 Center Road
Traverse City MI 49686

To whom it may concern:

Please be advised that at a meeting held on March 15, 2016 at the Peninsula Township Hall in Peninsula Township, Grand Traverse County, Michigan, located at 13235 Center Road, Traverse City, Michigan 49686, that the Peninsula Township Board passed a resolution to not assume any responsibility for the operation and maintenance for an onsite sewerage system as defined and regulated under Part 41, *Sewerage Systems*, under the Natural Resources and Environmental Protection Act (NREPA), MCL 324.4101 *et seq.* in accordance with Section 3109 of Part 31, Water Resources Protection, of the NREPA, MCL 324.3101 *et seq.* for a certain condominium subdivision and planned unit development in Peninsula Township on property located at 15634 Smokey Hollow Road and 15636 Bluff Road totaling 82.63 acres to be constructed and operated by The 81 Development Co., LLC and The 81 on East Bay Property Owners Association, Inc. The reason for the declination is that it is not Peninsula Township's intent to assume any liability for the operation and maintenance of the proposed sewerage system.



By: Pete Correia, Supervisor
Peninsula Township



By: Monica Hoffman, Clerk
Peninsula Township

Dated: March 15, 2016

April 13, 2016

Special Use Permit application #123

The 81 on East Bay –an open space preservation community
Supplemental Information

The conclusion of Judge Rodgers Decision and Order on the Appeal of the 81 on East Bay project listed four outstanding issues to be delegated to the Peninsula Township Fire department and Township Engineer for review and approval. Offered below is a summary of the completed issue items:

1. Peninsula Township Fire Department Chief Ronk provided a letter dated February 24th, 2016 in which is stated that “the Peninsula Fire Department approves the plans as submitted. In addition, Chief Ronk has supplied an additional communication dated April 9th, 2016 which more clearly states the approval of the location and functionality of the emergency access road.
(please see attached letters from Chief Ronk)
2. and 3. The Township Engineer has provided a letter dated March 15th, 2016 recommending engineering approval of the proposed grading and stormwater management as provided by the 81 on East Bay project.
(please refer to the attached letter from Brian Boals, P.E. of GFA)
4. Grand Traverse County Soil Erosion and Sedimentation Control office has provided a letter dated January 23rd, 2015 granting conceptual approval for the development. Application for final SESC permitting was submitted on April 5th, 2016, and will most likely be issued prior to the May 10th Board meeting. In addition, the sites proximity to East Bay will require State oversight under MDEQ National Pollution Discharge Elimination System (NPDES) during construction, which requires weekly reports of site conditions. In all practicality, there will be both County and State oversight of earthwork conducted on the site during construction.
(please refer to the to the attached letters and application)

As an additional update, it is our understanding that the Township is interested in the progress of State and Local permitting of the community drainfield. Permit applications were submitted to Grand Traverse County Health Department and the State of Michigan DEQ on March 28th, 2016.

In conclusion, the applicant feels that all 4 issues listed on the Judge’s order as items for the Board to Consider *(see conclusion of Decision Order page 16)* have been completed and are attached here in.

Sincerely,
Mansfield Land Use Consultants on behalf of:

Kevin O’Grady
The 81 Development Company, LLC / Peninsula Township Resident

Jim Hirschenberger P.E.
Mansfield Land Use Consultants

The 81 on the East Bay

Jim,

After my review of your latest drawings and detailed description of the water storage tank (*system*) planned for **The 81 on the East Bay** development, I offer the following...

The list of concerns that the Fire Department brought forward during a joint meeting with representatives from Mansfield Land Consultants and the Owner/Developer, conducted on January 21, 2016 at the offices of Kuhn Rogers PLC... all appear to have been fully addressed. The redesign of the slope of the bottom of the tank, specific language identifying the exclusive use of stainless steel piping, brackets, etc. in the assembly of the tank components, confined space warning signage, as well as the addition of a vehicle access pad directly adjacent to the tank, for the positioning of fire apparatus assigned to drafting water from the tank, were all included in the latest drawings and tank requirements. With that being the case... The Peninsula Fire Department approves the plans as submitted.

Language was also included that directs the Owner's chosen construction company to coordinate the component(s) and installation of the tank "system" with representatives from the Peninsula Fire Department. This will bring the involved parties in contact with each other during the actual construction process which reduces the potential of the project being completed without consensus between the parties, which is ultimately the desired outcome.

I would like to compliment your firm and the Owner/Developer representatives for addressing these technical issues concerning the design and installation of the tank system early on in the planning process. The preliminary work that's been done to this point, should set the course for a successful (tank installation) project.



Steve Ronk

Peninsula Fire Department
February 24, 2016

Jim Hirschenberger P.E.
Mansfield Land Use Consultants

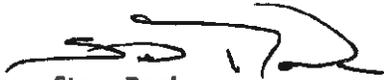
The 81 on the East Bay

Jim, Petra...

Per your phone request for additional clarification regarding the Emergency Access Road for the 81 on the East Bay project, I submit the following.

As outlined in the project approval documents with Peninsula Township, two options were presented. First option was a gated emergency access road connecting with Trevor Road... the second option would be an emergency access road connecting the cul-de-sac at the end of 81 Avenue with 81 Avenue near the underground water storage tank, thus "looping" 81 Avenue with a gated emergency access road.

With the Trevor road connector option off the table... the second option, to connect 81 Avenue with an emergency access road (from the cul-de-sac to the underground storage tank) meets the approval of and is acceptable to the Peninsula Fire Department. This statement is only meant to further support any and all documents previously agreed to, between Peninsula Township and the developer(s) of the project.



Steve Ronk
Peninsula Fire Department
April 9, 2016

March 15, 2016

Michelle L. Reardon
Director of Planning & Zoning
13235 Center Road
Traverse City, MI 49686
planner@peninsulatownship.com

RE: The 81 on East Bay
Revised Site Plan Review

Dear Michelle:

In follow up to our March 8, 2016 review of the site plan for the above referenced project, we have received additional plan revisions for review. A revised site grading sheet has been provided in accordance with Site Grading Comments 2 & 3 from our previous review. Item 2 requested that grading details for the 41 lots/building sites be incorporated into the overall plan set, and Item 3 requested additional grading details for the two roadway cul-de-sacs.

At this time we find the revised grading plan and additional information for the cul-de-sacs to be acceptable, with the intended site grading and drainage patterns for the roadways and building sites communicated sufficiently on the plan set.

By way of this letter we recommend engineering approval for the plans as reviewed. Please do not hesitate to contact me with any questions regarding this review.

Respectfully Submitted,
GOURDIE-FRASER



Brian M. Boals, PE
Project Manager



GRAND TRAVERSE COUNTY
SOIL EROSION – SEDIMENTATION CONTROL DEPARTMENT
2650 LAFRANIER ROAD
TRAVERSE CITY, MICHIGAN 49686
FAX (231) 995-6052 TEL (231) 995-6042

January 23, 2015

Mansfield Land Use Consultants
Jim Hirschenberger
830 Cottageview Dr., Suite 201
Traverse City, MI 49685

RE: Preliminary Review # 23414 for approval of proposed “The 81 on East Bay” residential PUD, Parcel 28-11-114-001-00 & 28-11-114-002-00 Peninsula Township, Grand Traverse County, Michigan

Dear Sirs:

This office has reviewed the submitted plans prepared by Mansfield Land Use Consultants, Job Number 14016, dated 03-05-14. We also field checked the parcel on January 22, 2015 and compared it to the proposed development plans.

The site has steep wooded slopes on the West, North and East. There is a nearly vertical, wooded bluff which drops to water level in East Bay. The center of the site has gently rolling slopes which slope to the west. The soils map indicates mostly Leelanau sands on the steeper slopes and where the residential lots are proposed. Those sandy soils will provide good infiltration rates. The proposed “common area” contains Richter loams which provide less infiltration, but are not planned to be used for lots or required infiltration. The drainage basin is proposed to be located in East Lake Mancelona loamy sands which will also provide adequate drainage. It should be noted that wetlands exist in the south west side of the site. A 25 foot buffer is required to protect it.

A grading and stabilization plan will be required from the contractor prior to grading the steep slopes near the bluff. It will need to demonstrate that the undisturbed bluff will be protected and that the graded area will be adequately stabilized to prevent erosion. This office recommends a double row of silt fence where silt fence is indicated on the site plan. In addition, individual lot grading will need to carefully follow the submitted plan so that storm water and soil will not be directed onto neighboring lots.

A permit from MI DEQ will be required to install the dock and boat slips in the water. Any additional work below the Ordinary High Water Mark will also need to be included in the MI DEQ permit. A construction schedule, surety and a statement designating the entity that will be responsible for maintenance of permanent SESC measures will also be required prior to issuance of a soil erosion control permit by this office.

Based on the above comments and the Construction Notes in the submitted site plan, this office grants conceptual approval for the development as proposed.

If you have any questions or concerns regarding this decision please feel free to contact me at 231-995-6042

Respectfully,

Gwendolyn Zagore
Grand Traverse County Soil Erosion Inspector



**ROBERT A. COONEY
PROSECUTING ATTORNEY**

324 COURT STREET
TRAVERSE CITY, MICHIGAN 49684-9958
(231) 922-4600 • FAX (231) 922-4698

February 24, 2016

Mr. Joseph Quandt
412 South Union Street
Traverse City, MI 49684

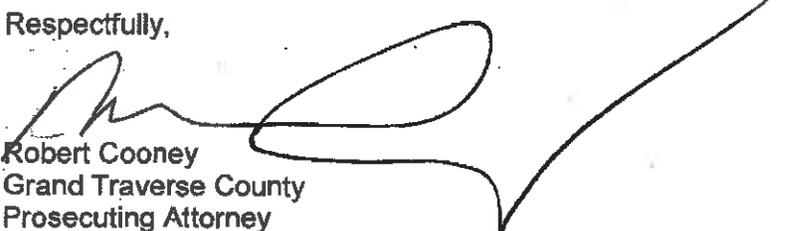
RE: Preliminary Review #23414 for approval of proposed "The 81 on East Bay" residential PUD, Parcel 28-11-114-001-00 & 28-11-114-003-00 Peninsula Township, Grand Traverse County, Michigan

Dear Mr. Quandt:

Per your letter of February 2, 2016, I have communicated with the Soil Erosion and Sedimentation Division of Grand Traverse County relating to reasonable assurance of issuing a permit for the above identified parcels.

A Preliminary Review was conducted on January 22, 2015 and a letter stating the Soil Erosion Department findings was sent (attached). While the County cannot guarantee that a permit will be issued, we can provide reasonable assurance that it will be issued if final drawings for construction are submitted that are consistent with the preliminary approval.

Respectfully,



Robert Cooney
Grand Traverse County
Prosecuting Attorney

Enclosure

cc: Jean Derenzy, Deputy Director Planning and Development
Bruce Remail, Building Official





April 5, 2016

Bruce Remai
Grand Traverse County S.E.S.C.
Public Services Building
2650 Lafranier Road
Traverse City, MI 49686

RE: The 81 on East Bay, Peninsula Twp., Grand Traverse County
S.E.S.C. Permit Application

Dear Bruce,

On behalf of The 81 Development Company, LLC, please find the following documents enclosed for your review and comments for the Soil Erosion & Sedimentation Control permit application for The 81 on East Bay - PUD in Peninsula Twp., Grand Traverse County, Michigan:

1. (2) sets of the signed/sealed applicable plans
2. (1) copy of the S.E.S.C. permit application
3. (1) copy of the Letter of Agency
4. (1) Permit fee check payable to Grand Traverse County
5. Construction Schedule (see plan sheet C3.0)

The 81 on East Bay is a residential development of 41 sites. Construction is proposed to begin in early summer of 2016. We understand that the contractor will be responsible for a surety bond, as determined by your office. Peninsula Twp. has requested that evidence of permit approval be submitted to their office by April 13, 2016. We would appreciate your offices assistance in hitting that deadline.

If you have any questions, please feel free to call me at (231) 946-9310 ext. 1007. Thank you for your assistance.

Sincerely,
Mansfield Land Use Consultants

A handwritten signature in black ink, appearing to read "Jim Hirschenberger".

Jim Hirschenberger, P.E.
Project Engineer
Enclosures:

P:\Land Projects\2014\14016 Insight Builders\Permitting\GT Co SESC\16-04-05 County Submittal\16-04-05_Ltr_GTCoSESC_14016.docx

GRAND TRAVERSE COUNTY SOIL EROSION -
 SEDIMENTATION CONTROL DEPARTMENT
 2650 LAFRANIER ROAD
 TRAVERSE CITY, MICHIGAN 49686
 PHONE: (231) 995-6042 FAX: (231) 995-6048

Permit #:
Date Applied:
Expiration:
Receipt #:

PERMIT APPLICATION

PART 91. SOIL EROSION & SEDIMENTATION CONTROL, OF ACT 451 OF 1994,
 AS AMENDED GTC SOIL EROSION

APPLICANT: Owner Developer Contractor Engineer Other

Name: Mansfield Land Use Consultants		Address: 830 Cottageview Dr, Ste 201	
City: Traverse City	State: MI	Zip: 49685	Phone: 231-946-9310

SITE LOCATION INFORMATION: NOTE - TWO COMPLETE SET OF PLANS MUST BE ATTACHED

Township: Peninsula	Section: 14	Town: 29N	Range: 10W	Subdivision: The 81 on East Bay (proposed)	Lot #: 118
Address: 15634 Smokey Hollow Rd & 15636 Bluff Rd			City: Traverse City		
State: MI	Zip: 49686	Property Tax #: 28-11-114-001-00 & 28-11-114-002-00			

PROPOSED EARTH CHANGE:

Type of Change: Grading to construct residential PUD, roads, utilities, storm basin, clearing.	Size of Earth Change: 41 ac
MDEQ Permit # (If Applicable):	Permit Fee: \$3,967
Excavation Start Date: June 2016	Date to be Completed: June 2017

***Make Checks Payable to GTC**

REASON FOR PERMIT:

SOM PA 451, PART 91 REQUIREMENTS

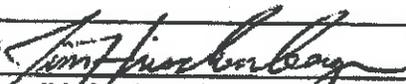
GTC SESC REQUIREMENTS

<input checked="" type="checkbox"/> Within 500' of Lake or Stream Estimated Distance to lake or Stream: ~ 100' Name of Water Body: Grand Traverse Bay (East Bay) <input checked="" type="checkbox"/> Acreage (Soil Disturbance of 1 Acre or More)	<input type="checkbox"/> Commercial Site <input checked="" type="checkbox"/> Within 100' of Protected Wetlands <input checked="" type="checkbox"/> Slopes of 10% or Greater <input type="checkbox"/> Heavy Clay Soils <input checked="" type="checkbox"/> Township Required / Development Required <input type="checkbox"/> Drain Basement on Site / Within a Drainage District
--	--

PARTIES RESPONSIBLE FOR EARTH CHANGE:

Name of <u>Property Owner</u> of Record: The 81 Development Company, L.L.C.		Cell Phone: (248) 505-5558	
Mailing Address: 6978 Dixie Hwy, Ste A		Email: kjoinsight@gmail.com	
City: Clarkston	State: MI	Zip: 48346	Phone: 248-575-3300
Person "On-Site" Responsible for Earth Change:		Cell Phone: (231) 218-0739	
Company Name: Alpers Excavating, Inc.		Email: info@alpersexcavating.com	
Mailing Address: 16 South West Silver Lake Rd			
City: Traverse City	State: MI	Zip: 49685	Phone: 231-943-4710

I (we) affirm that the above information is accurate and that I (we) will conduct the above described earth change in accordance with Part 91, Soil Erosion & Sedimentation Control, of the Natural Resource and Environmental Protection Act, Act 451 of the Public Acts of 1994, and/or the 2003 Grand Traverse County Soil Erosion Ordinance, its corresponding rules, applicable local ordinances and the agreements accompanying this application, and that I (we) have been notified and understand that the aforementioned ordinances are more restrictive than Part 91 of the N.R.E.P.A..

Owner's Signature:	Print Name:	Date:
Designated Agent's Signature: 	Print Name: Jim Hirschenberger	Date: 4/5/16

* The Landowner is responsible for the maintenance of all permanent SESC measures.
 **Designated Agent must have a written statement from landowner authorizing him/her to secure a permit in the landowner's name.

COMMENCEMENT OF WORK PRIOR TO RECEIVING THE APPROVED PERMIT is a municipal or state civil infraction that may subject you to a fine of not more than \$2,500.00. Knowingly violating the Soil Erosion and Sedimentation Control Act, of 1994 PA 451, as amended or knowingly making a false statement on the permit application or a soil erosion or sedimentation control plan may subject you to a civil fine of not more than \$10,000.00 for each day of the violation. In addition, knowingly violating section 9112 or 9117, relating to a determination that the work undertaken does not conform to a permit or plan or adversely affects adjacent land or waters, may be responsible for a civil fine of not less than \$2,500.00 nor more than \$25,000.00 for each day of the violation.

PERMIT PROCEDURES

In accordance with Part 91 of Act 451 of 1994, as amended, and/or the GTC Ordinance #25 of 2003 and their corresponding General Rules, the undersigned herewith makes application for a permit to undertake a proposed earth change. Permit requirements will be as follows:

1. A person proposing to undertake an earth change shall submit an application for a state prescribed permit to the appropriate enforcing agency. In land development, the application shall be submitted by the landowner or their designated agent (a person who has written authorization from the landowner to sign the application and secure a permit in the landowner's name), whoever is responsible for the earth change.
2. The application shall be accompanied by a soil erosion and sedimentation control plan and any other document with the appropriate enforcing agency may require.
3. The soil erosion and sedimentation control plan shall be reviewed and approved by a person designated by the county or local enforcing agency who is trained and experienced in soil erosion and sedimentation control techniques.
4. The appropriate enforcing agency shall approve, disapprove or require modification of an application for an earth change permit within 30 calendar days following receipt of the application. Notification of disapproval shall be made by certified mail with the reasons for disapproval and conditions required for approval.
5. A state prescribed application form shall be provided to the applicant by the county or local enforcing agency.
6. A state prescribed permit shall be used by each county for local enforcing agency and shall include any additional provisions that may be required by the county or local enforcing agency. The permit shall be available on the site of the earth change for inspection.
7. Upon a determination that an applicant has met all the requirements of Part 91 and the promulgated rules, and the local ordinance, if applicable, the appropriate enforcing agency shall issue a permit for the proposed earth change.
8. An "authorized public agency" is exempt from obtaining a permit from a county or local enforcing agency, but shall notify the county or local enforcing agency of each proposed earth change.
9. When an earth change is under the jurisdiction of 2 or more local or county enforcing agencies, the person must obtain coverage in each jurisdiction, unless there is an interlocal agreement.

January 14, 2016

**Re: The 81 on East Bay
Letter of Agency**

To whom it may concern,

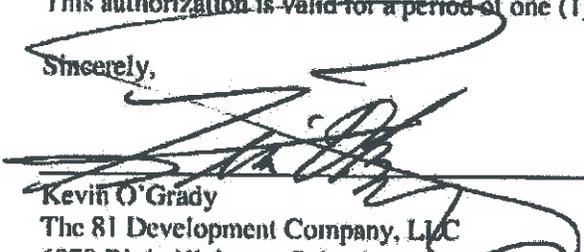
The purpose of this letter is to acknowledge that Mansfield Land Use Consultants is authorized to work as my agent with regards to planning and engineering services relating to regulatory agency reviews and permitting for the proposed *The 81 on East Bay* Residential Planned Unit Development located on Boursaw Road on the Old Mission Peninsula, Traverse City, Michigan.

Mansfield Land Use Consultants contact information is as follows:

Doug Mansfield, President
830 Cottageview Drive, Suite 201
Traverse City, MI 49684
doug@muaeps.com
(231) 218-5560

This authorization is valid for a period of one (1) year from the date of signature.

Sincerely,



Kevin O'Grady
The 81 Development Company, LLC
6978 Dixie Highway, Suite A
Clarkston, MI 48346
(248) 575-3300

1/14/16
date

MEMO

TO: Peninsula Township Board
FROM: Sally Akerley, Peninsula Township Assessor 
RE: Drainage District Special Assessment Districts
DATE: May 4, 2016

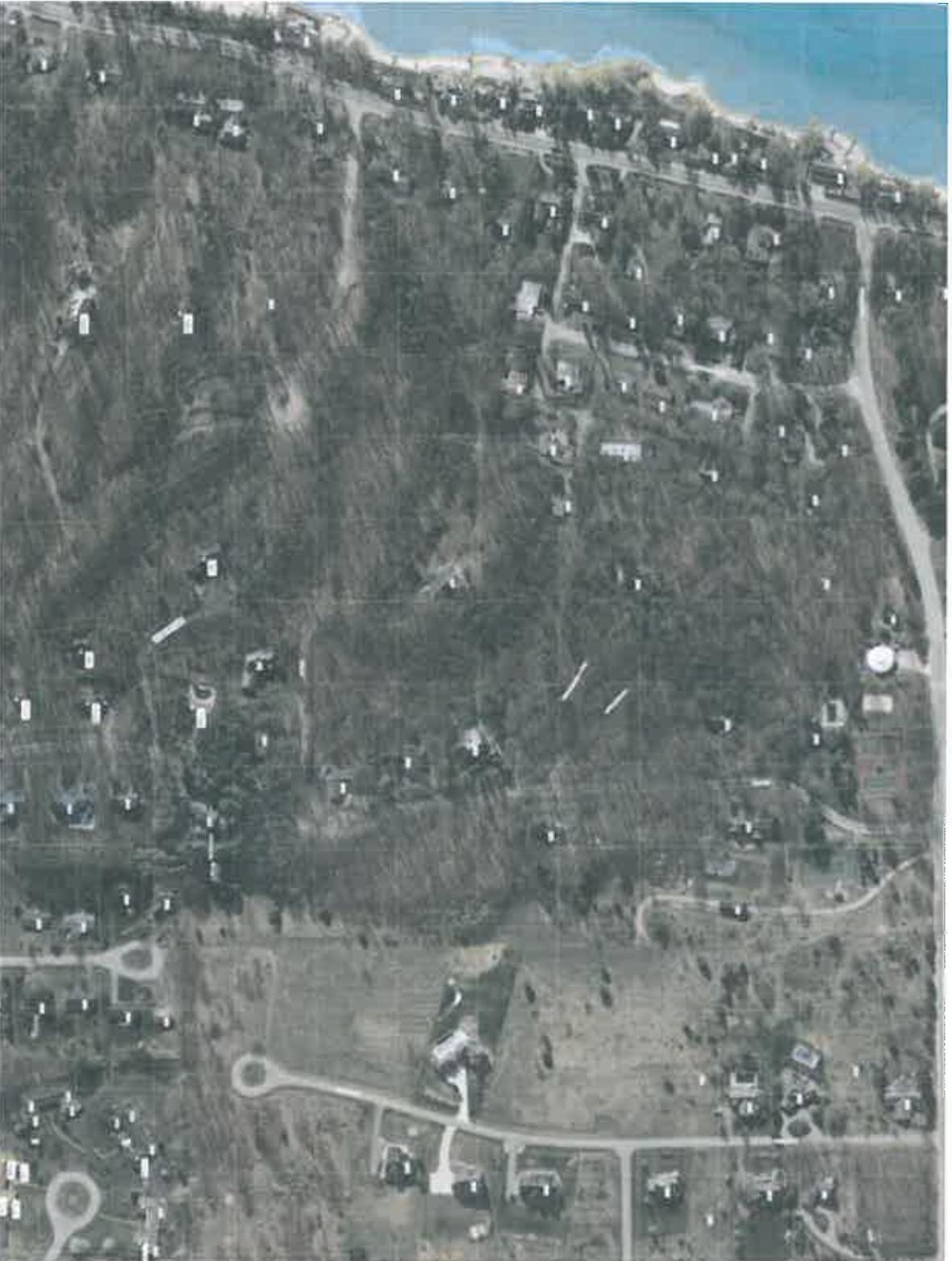
Currently, there are two “neighborhoods” interested in establishing special assessment districts (SAD’s) for drainage purposes:

The first neighborhood is comprised of Braemar subdivision, Old Mission Estates subdivision and some of the surrounding metes and bounds parcels.

The second neighborhood is comprised of Maple Terrace subdivision, Logan Hills subdivision, Peninsula Hills subdivision and some of the surrounding metes and bounds parcels.

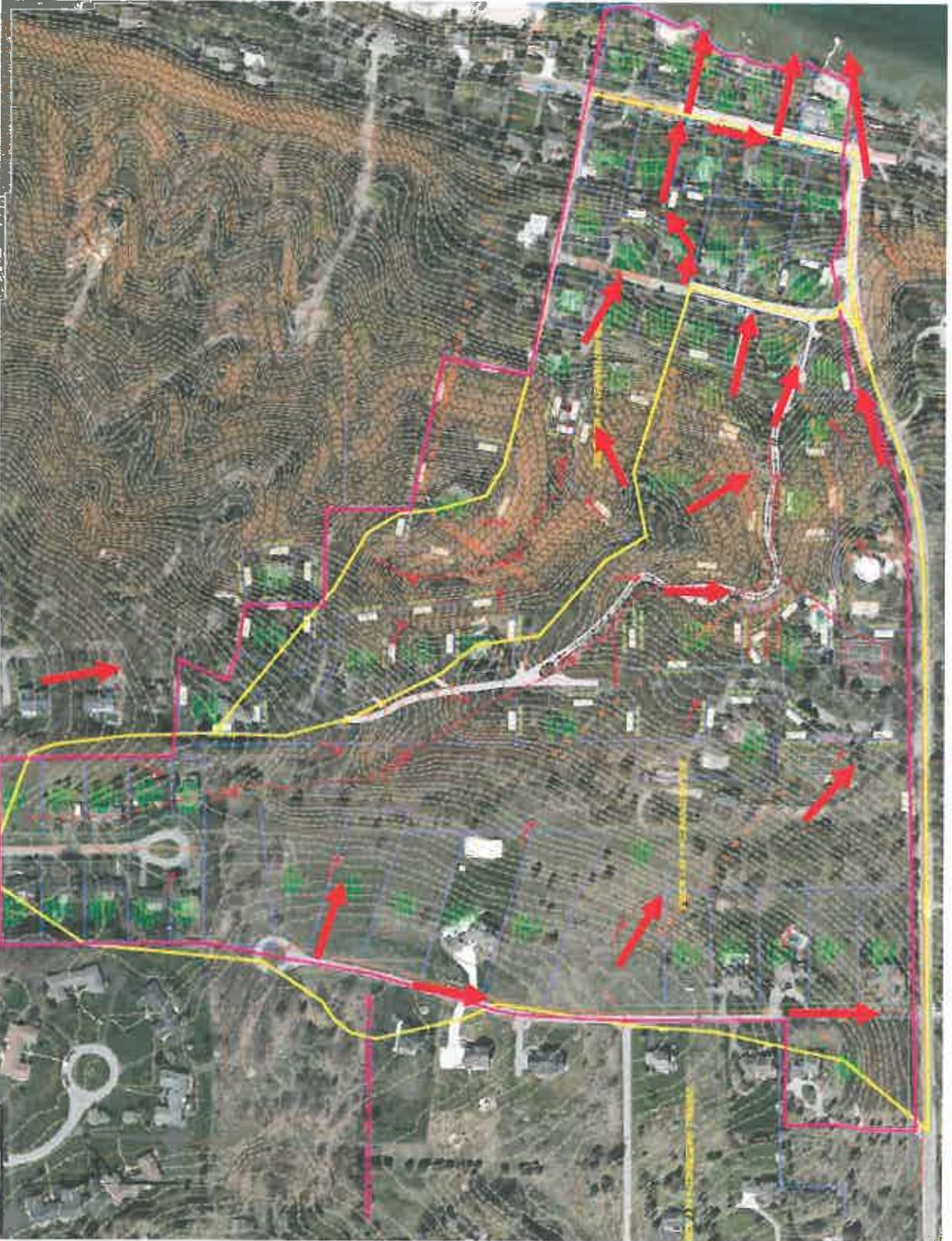
Joe Quandt will be leading a presentation of the topics; explaining the need for the project, district boundaries, projected costs and analysis and answering any general questions the town board members may have. The goal is to demonstrate acceptable willingness of participation among the parties with the hopes of moving forward with the formal creation of a SAD in the next upcoming months.

PROPOSED SPECIAL ASSESSMENT DISTRICT MEETING- May 10, 2016

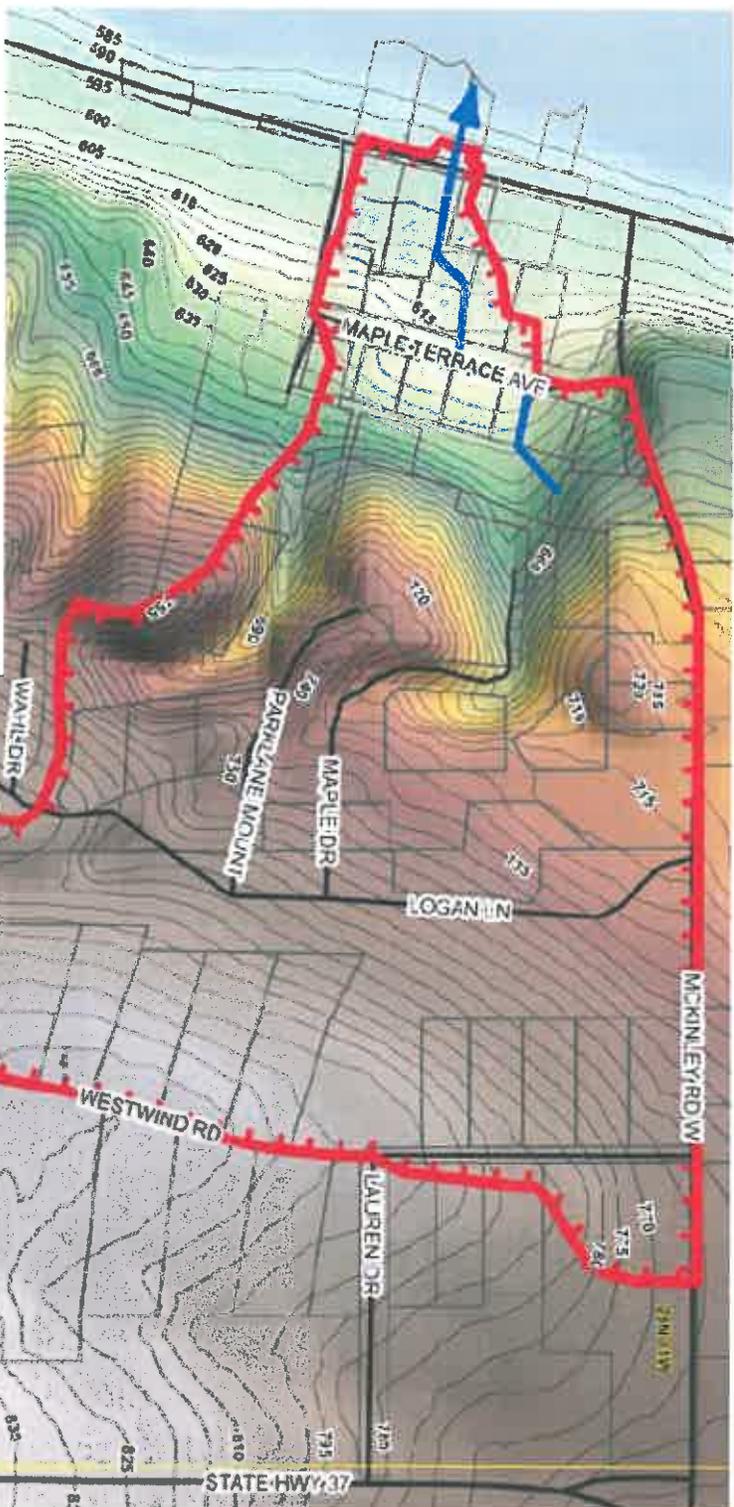


MT-1

PROPOSED SPECIAL ASSESSMENT DISTRICT
EXISTING DRAINAGE



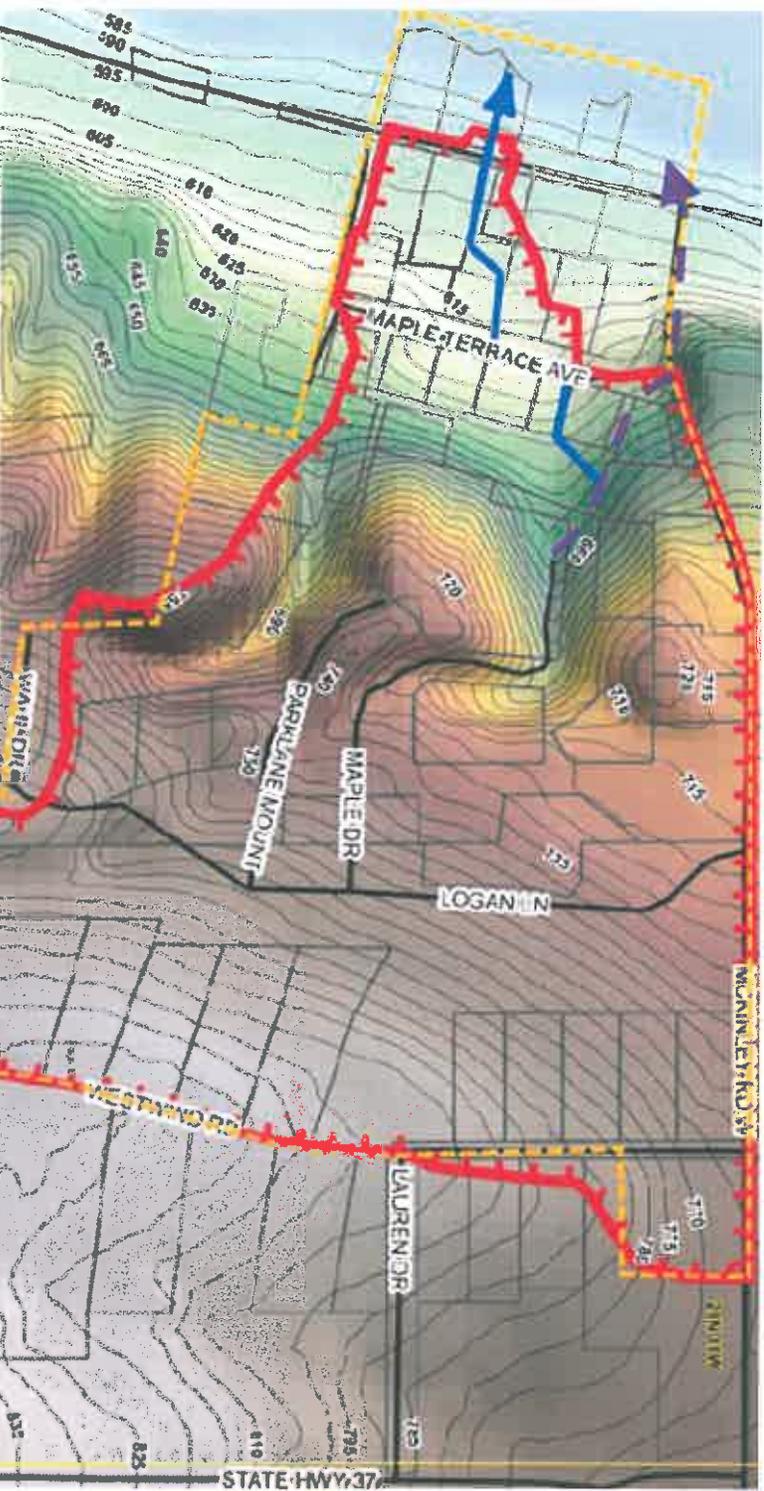
PROPOSED DRAIN COMMISSIONER FIX



- REQUIRES 6 EASEMENTS
- IMPACTS WETLANDS
- SEEPS EXCLUDED
- INCLUDES EXCESS PROPERTIES
- LOGAN-MAPLE UNADDRESSED
- NO BASIS FOR DESIGN
- UNKNOWN COST
- LIKELY INFEASIBLE



PROPOSED ASSESSMENT DISTRICT SOLUTION



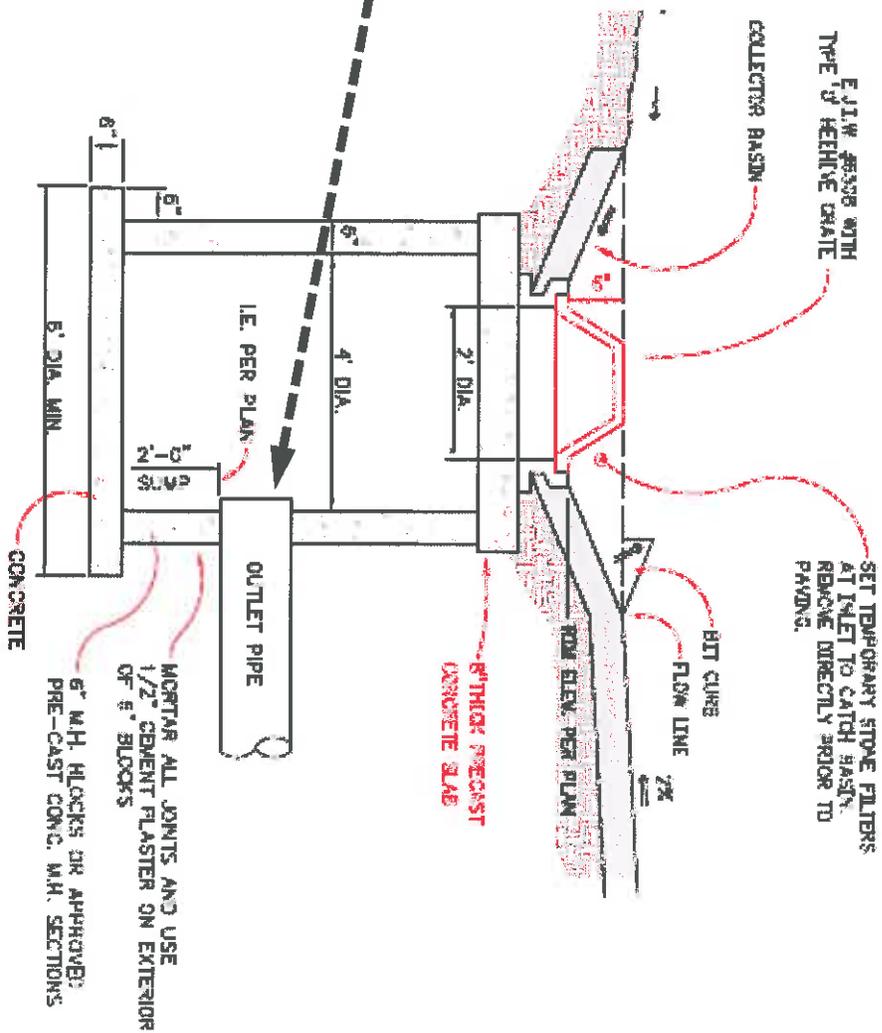
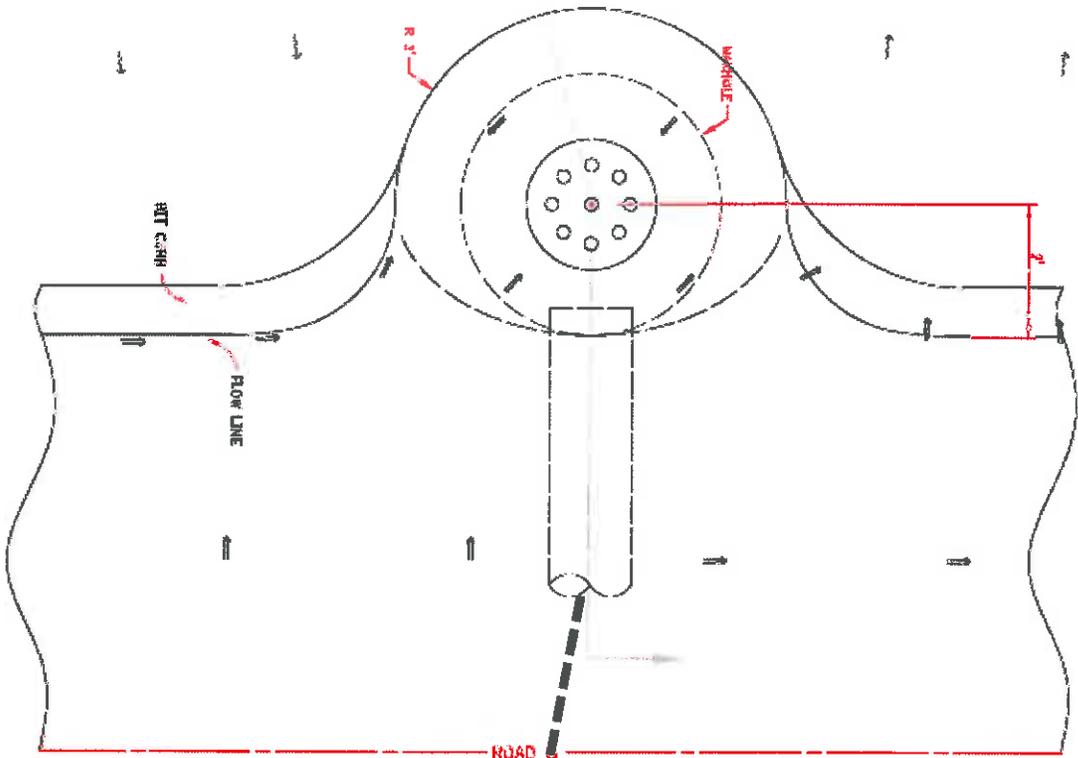
- REQUIRES 2 EASEMENTS
- NO WETLANDS IMPACTS
- SEEPS DRAINED
- BELOW GROUND
- LOGAN-MAPLE RUNOFF CAPTURE
- 75 % DESIGNED
- WELL KNOWN COSTS



PROPOSED ASSESSMENT DISTRICT SOLUTION

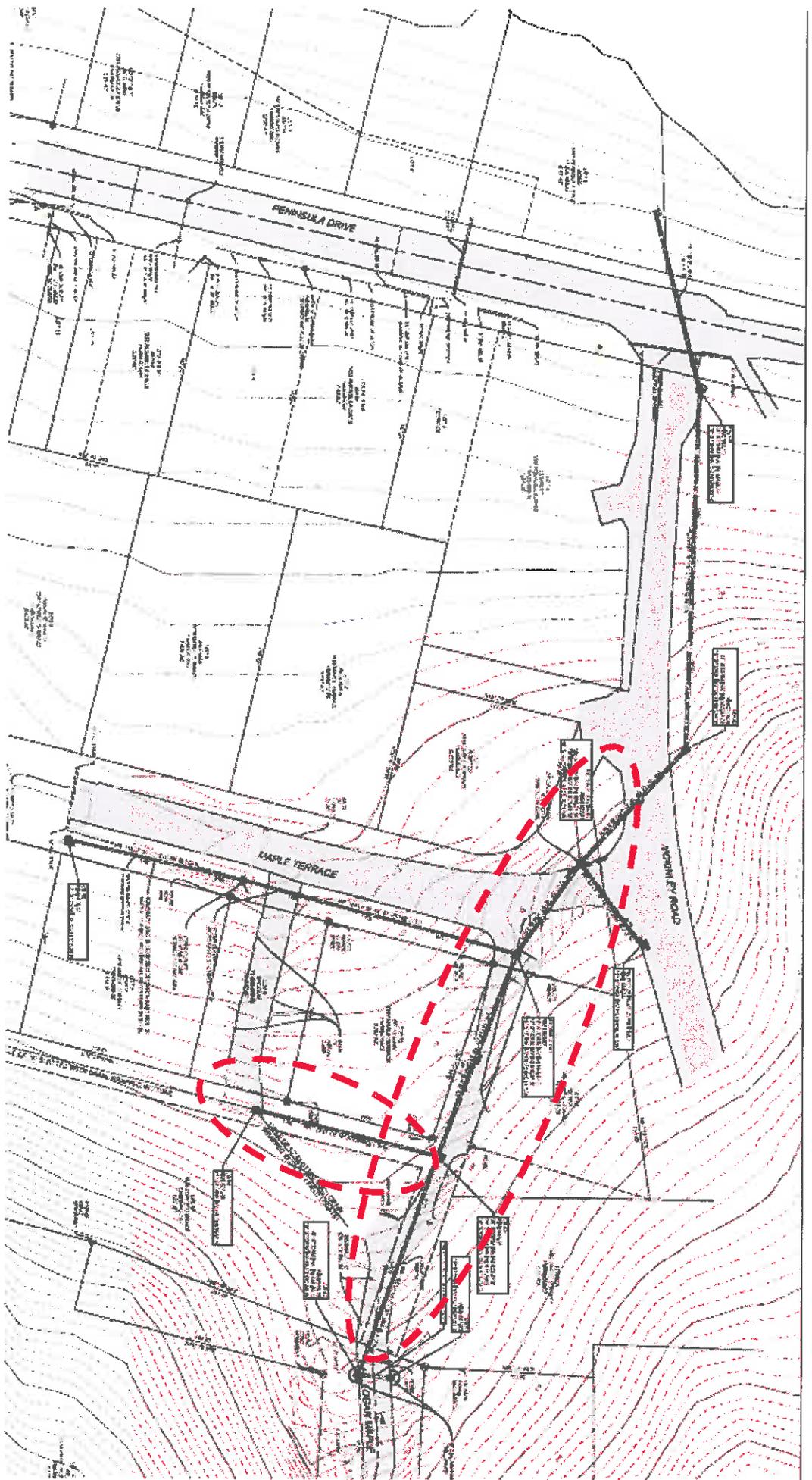


BRAEMAR DR. CULVERT FIX-- ALL SCENARIOS

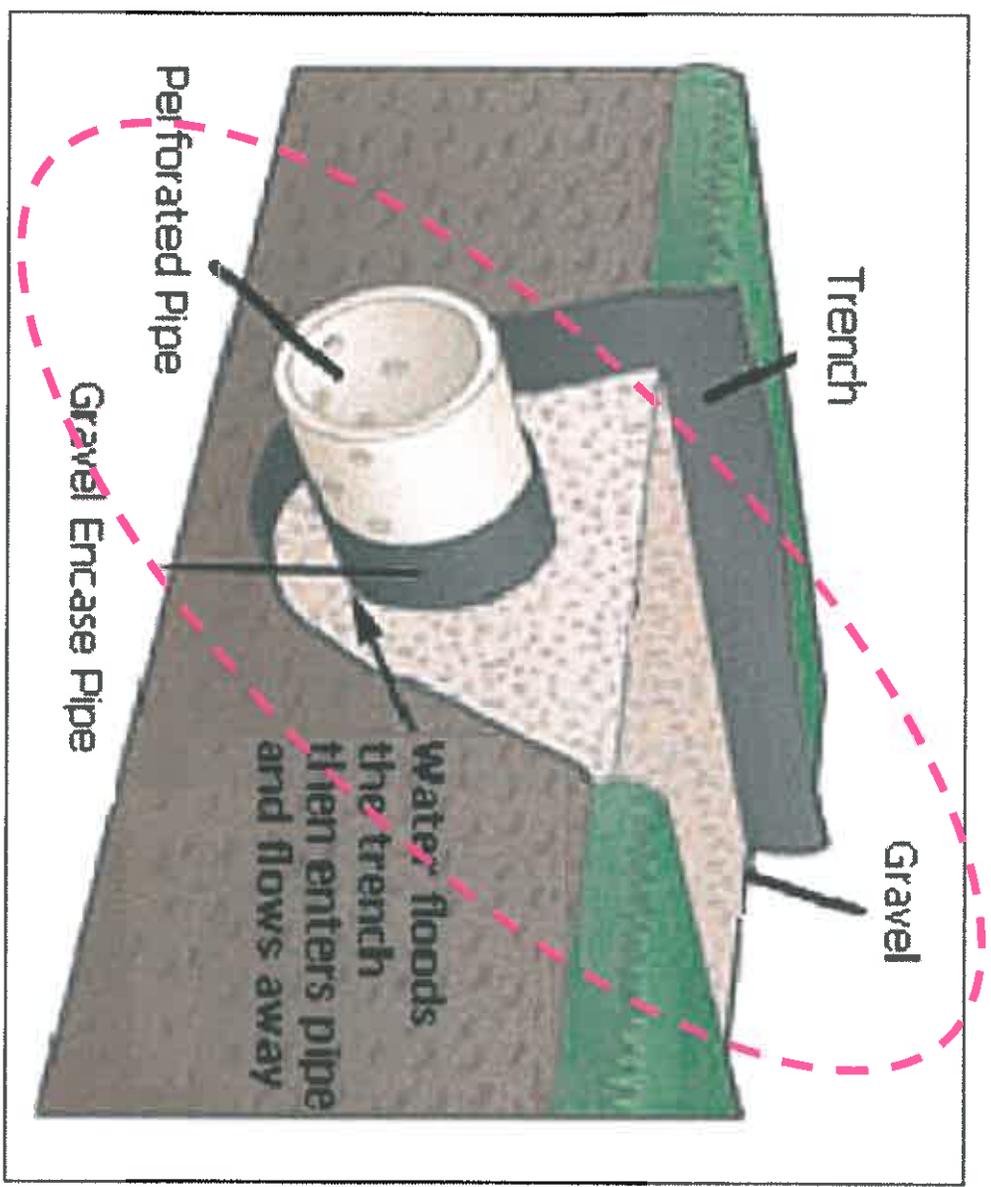


SECTION VIEW

PROPOSED ASSESSMENT DISTRICT SOLUTION



DRAINAGE IMPROVEMENTS & MAINTENANCE



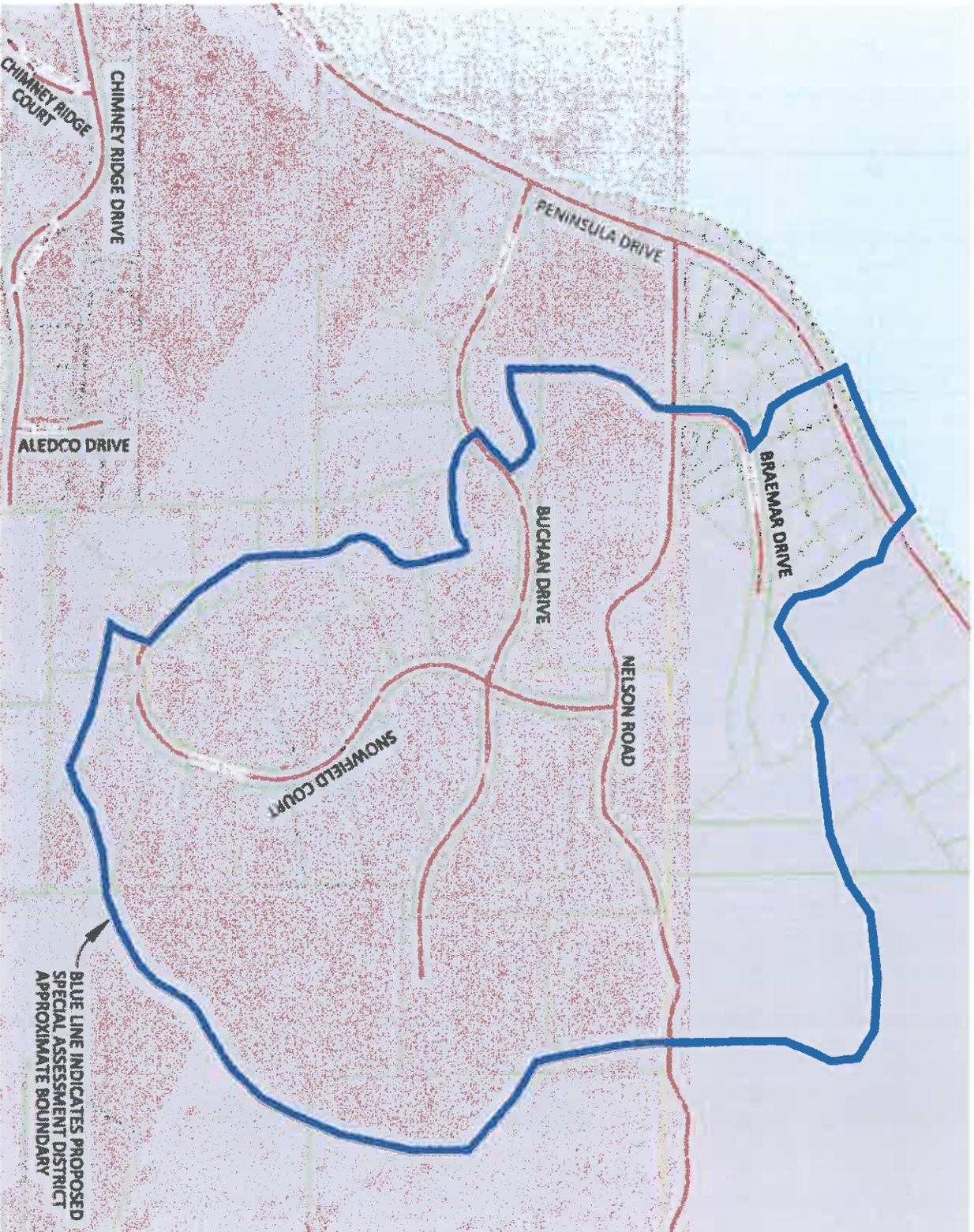
CURRENT COST ESTIMATE

PRELIMINARY COST ESTIMATE
March 1, 2016

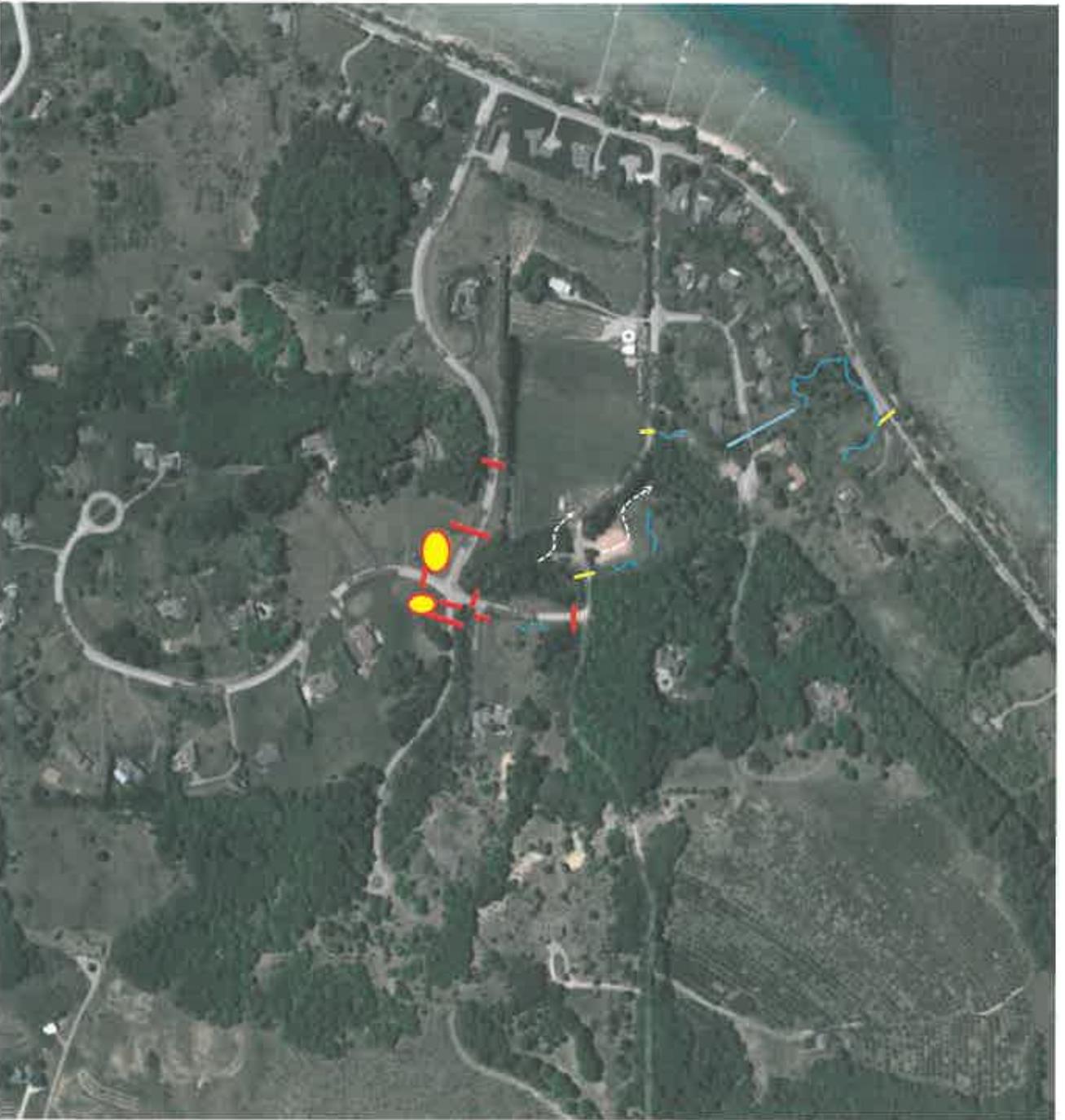
						GT Engineering	
Item No.	Item	Est. Quantity	Unit	Unit Price	Unit Cost		
1	Mobilization	1	LS	\$5,000.00	\$5,000.00		
2	Silt Fence/Soil Erosion	2,400	LF	\$3.00	\$7,200.00		
3	Demo existing storm	1	LS	\$5,000.00	\$5,000.00		
4	Clear & Grub	750	SYD	\$15.00	\$11,250.00		
5	18" Storm Sewer	1,200	LF	\$48.00	\$57,600.00		
6	4' Diameter Manholes/Catch Basins	10	EA	\$3,000.00	\$30,000.00		
7	New Headwall & Rip-Rap at ex. 18" Outlet	1	LS	\$15,000.00	\$15,000.00		
8	Connect to existing Storm Outlet	1	EA	\$2,500.00	\$2,500.00		
9	10" slotted Sock Drain w/Stone wrap	300	LF	\$30.00	\$9,000.00		
10	Road Repair	15,000	SF	\$3.00	\$45,000.00		
11	Earthwork near gate to construct "berm" (Grading/Shaping)	250	CYD	\$18.00	\$4,500.00		
12	4" Topsoil	500	SYD	\$8.00	\$4,000.00		
13	Turfing (Seed & Mulch)	500	SYD	\$4.00	\$2,000.00		
14	Mulch Blanket	500	SYD	\$6.00	\$3,000.00		
15	Site Clean-up/Restoration	1	LS	\$7,500.00	\$7,500.00		
16							
17							
18							
19							
Construction Subtotal Contingencies 20% Construction Total Surveying, Engineering & Permitting 15% 5-yr. Maintenance TOTAL						\$208,550 \$41,710 \$250,260 \$37,539 \$10,000 \$297,799	

MT-11

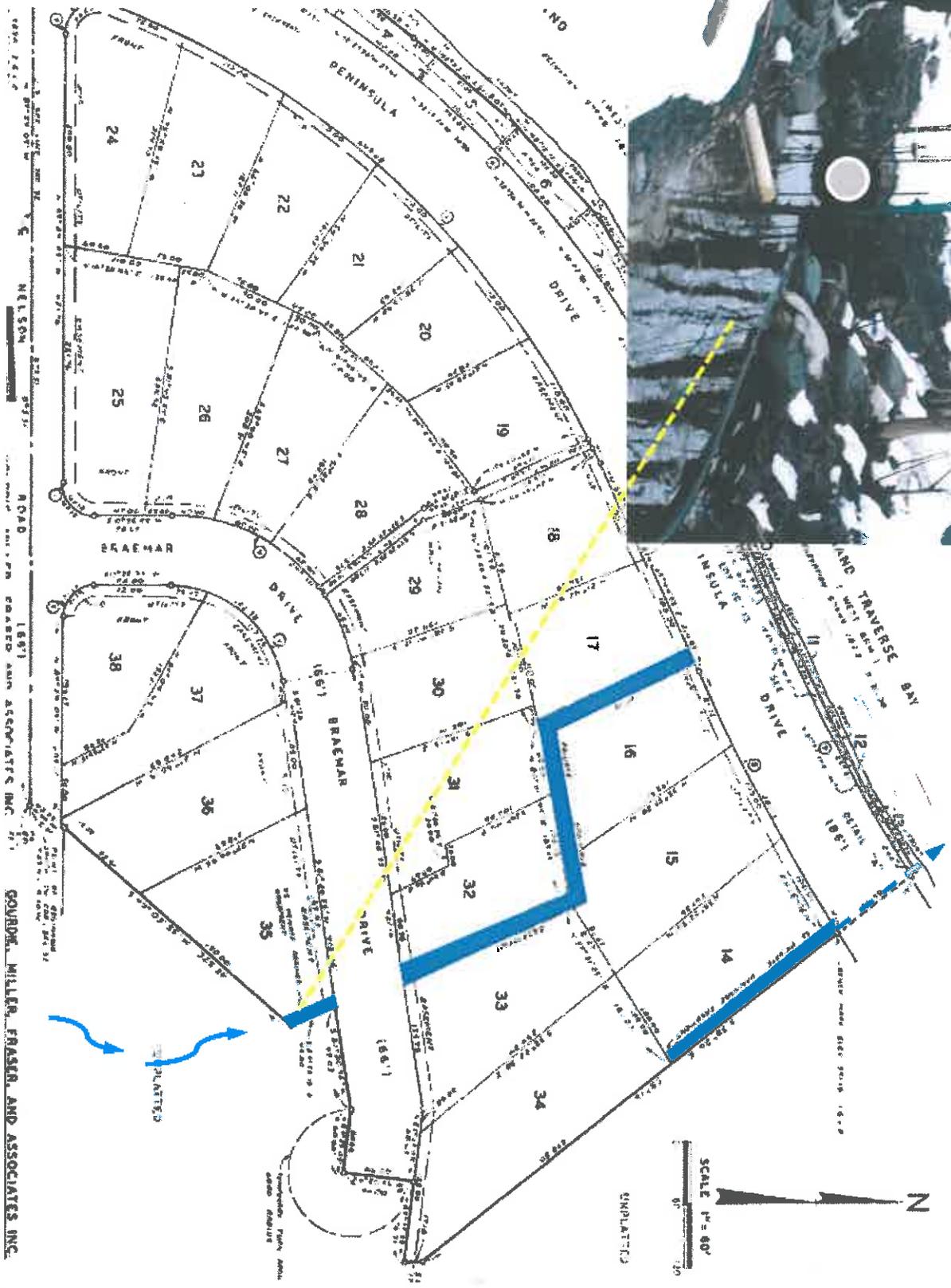
PROPOSED SPECIAL ASSESSMENT DISTRICT MEETING- May 10, 2016



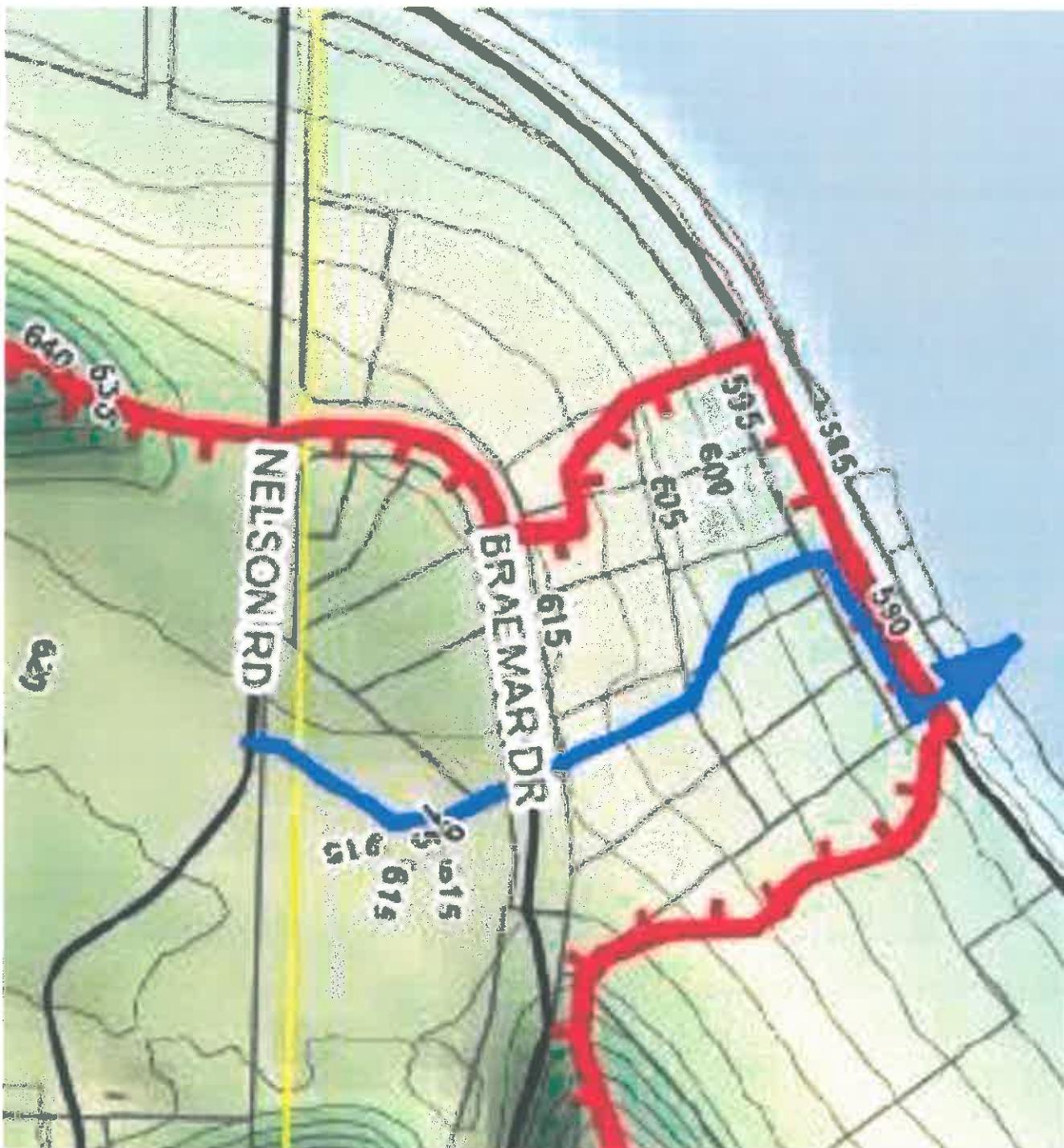
PROPOSED SPECIAL ASSESSMENT DISTRICT
EXISTING DRAINAGE



EXISTING DRAINAGE



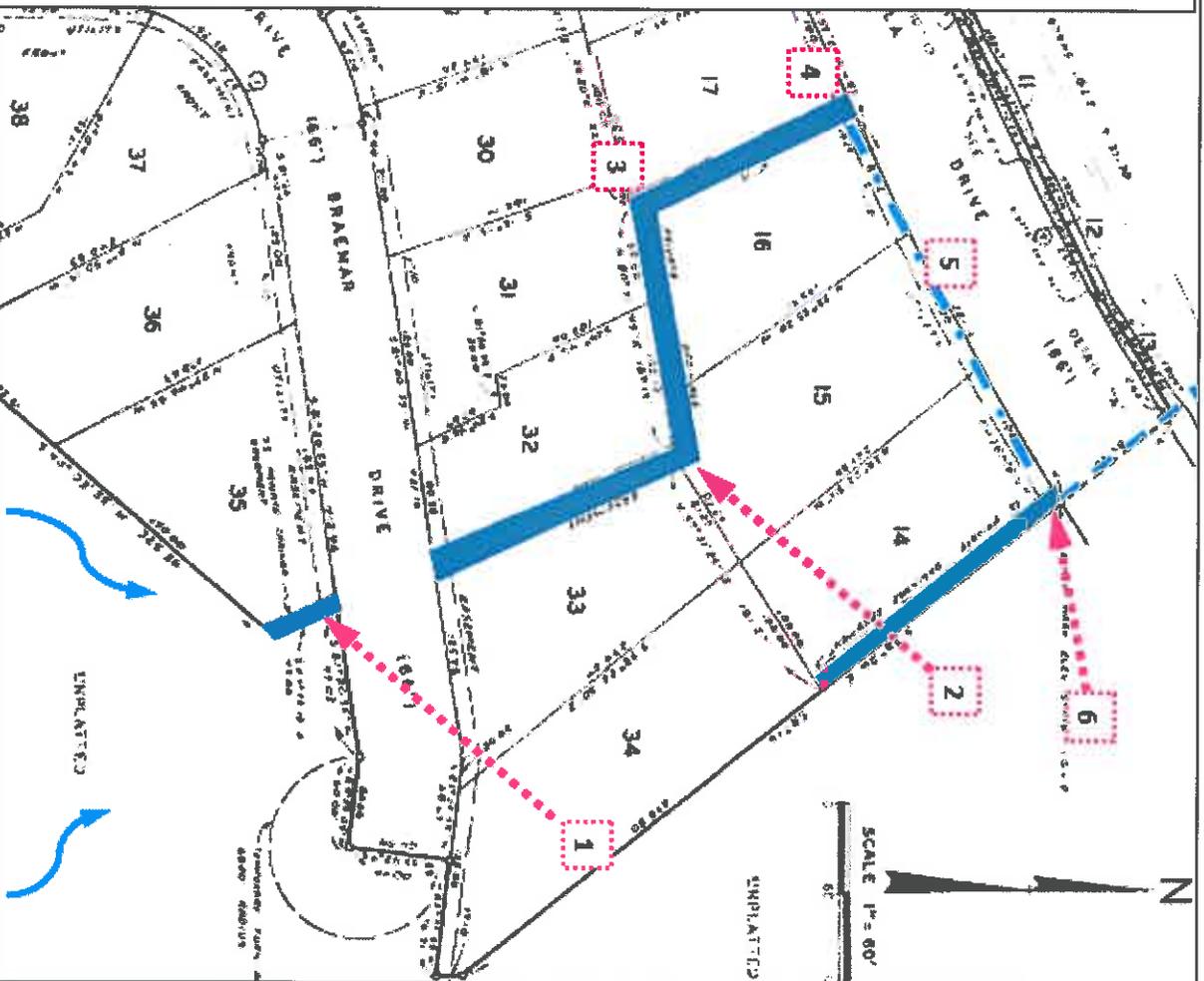
PROPOSED DRAIN COMMISSIONER FIX



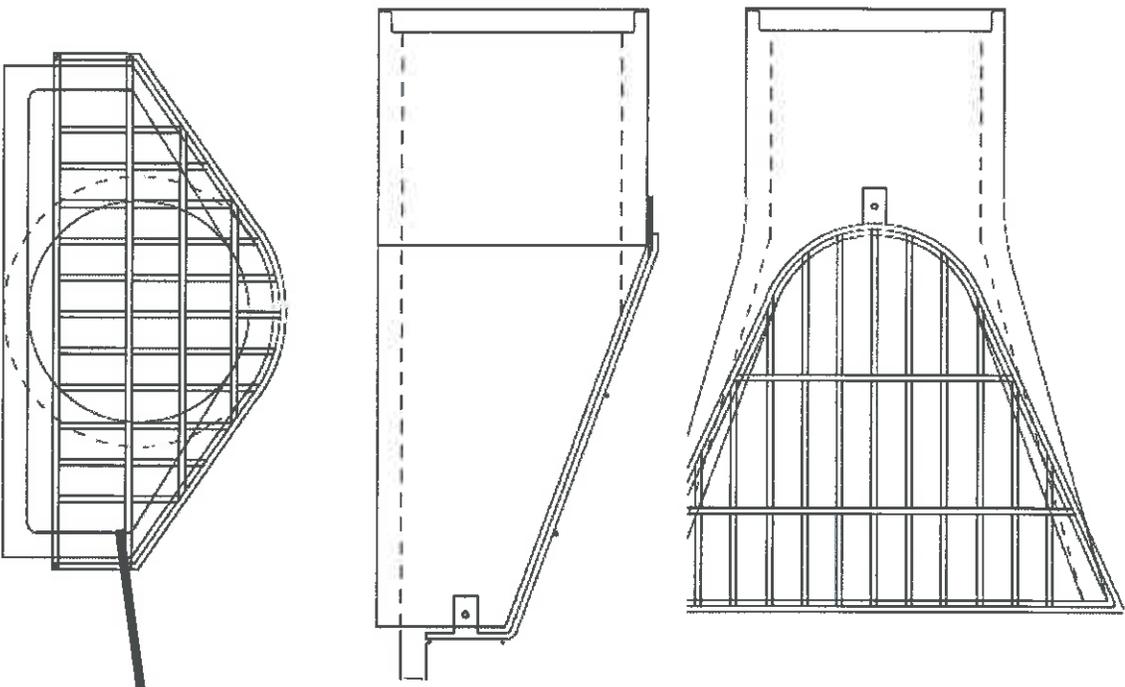
PROPOSED STORMWATER IMPROVEMENTS

Scenario 1

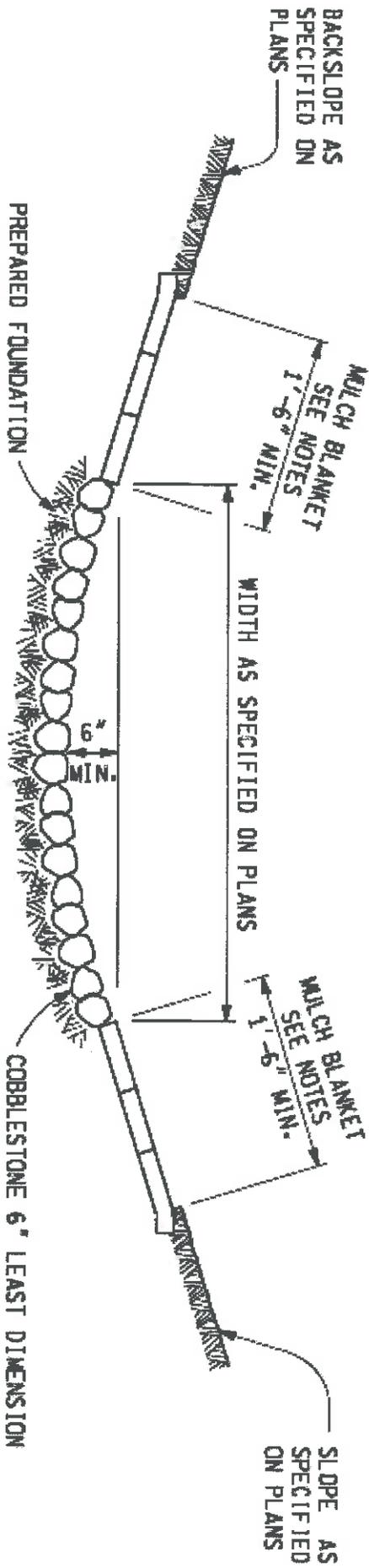
1. ADD Flared End Section to 12-inch Conc. Pipe.
Add Inlet Grate to Flare.
Grub Headwall area
Armor Headwall and Wings with geogrid and rip-rap
2. Add Conc Structure to stabilize outfall, dissipate flow
Stabilize Tail wall and Wings with geogrid and rip-rap
Grub and clear to reestablish open channel (existing profile) with geogrid and stone check dams.
(alternate- stone armor graded trapezoid profile)
3. Grade/reinforce channel transition for diversion toward Peninsula Drive
Continue profile and stabilization from 2.
4. Grade/reinforce channel transition for diversion parallel with Peninsula Drive
end profile and stabilization from 2.
5. Grade / profile ROW ditch per GTCRC nominal standards
6. Repeat/Mirror stabilization improvements as at 4.



BRAEMAR DR. CULVERT FIX-- ALL SCENARIOS



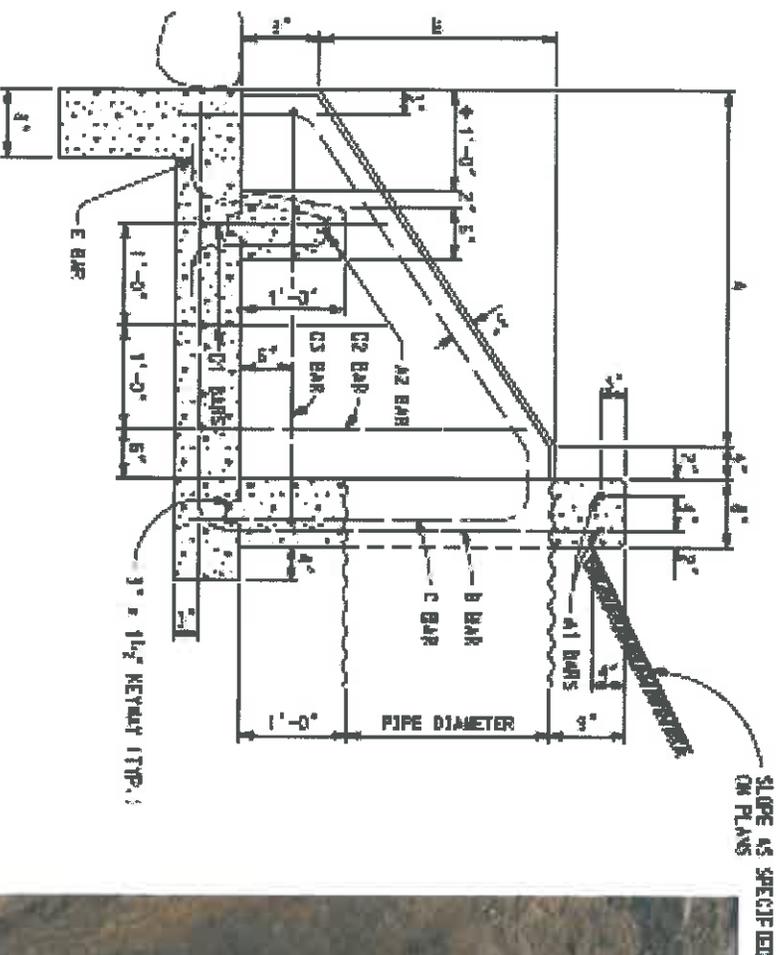
DRAINAGE IMPROVEMENTS & MAINTENANCE



PLAIN COBBLE DITCH



DRAINAGE IMPROVEMENTS & MAINTENANCE



CURB & GUTTER
 (SHOWN WITH RAFFLE)



DEPARTMENT DIRECTOR
 STATE LIAISON

MICHIGAN DEPARTMENT OF TRANSPORTATION
 BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR



COST ESTIMATE

Item	Est. Quantity	Unit	Unit Price	Unit Cost	Engineer		Contractor #1		CONTRACTOR #2	
					Unit Price	Unit Cost	Unit Price	Unit Cost	Unit Price	Unit Cost
Mobilization	1	LS	\$10,000	\$10,000	\$3,750	\$3,750	\$4,875	\$4,875		
Silt Fence	1,500	LF	\$2	\$3,000	\$2	\$3,375	\$3	\$4,395		
Site Clean-up/Restoration	1	LS	\$5,000	\$5,000	\$5,925	\$5,925	\$7,703	\$7,703		
UNPLATTED INLET NEAR LOT 35 (#1)										
12" Flared End Section w/grate	1	EA	\$750	\$750	\$405	\$405	\$527	\$527		
Clear & Grub	20	SYD	\$15	\$300	\$70	\$1,400	\$91	\$1,820		
Geo-Grid & Rip-Rap at inlet	10	SYD	\$100	\$1,000	\$162	\$1,620	\$211	\$2,106		
AT CULVERT OUTLET (#2)										
4' Diameter Manholes (0-16')		EA	\$1,800	\$0		\$0		\$0		
Headwall & Rip-Rap (MDOT R-85-D)	1	LS	\$15,000	\$18,000	\$12,220	\$12,220	\$15,886	\$15,886		
300' OF 15-FT WIDE PRIVATE DRAINAGE EASEMENT (#2, #3, #4, #6)										
Clear & Grub	600	SYD	\$15	\$9,000	\$9	\$5,400	\$12	\$7,020		
Earthwork (Grading/Shaping)	600	CYD	\$16	\$9,600	\$12	\$6,900	\$15	\$8,970		
4" Topsoil	600	SYD	\$2	\$900	\$5	\$2,700	\$6	\$3,510		
Turfing (Seed & Mulch)	600	SYD	\$1	\$600	\$3	\$1,800	\$4	\$2,340		
Mulch Blanket	600	SYD	\$3	\$1,500	\$4	\$2,550	\$6	\$3,318		
Geotextile Fabric	600	SYD	\$12	\$7,200	\$6	\$3,300	\$7	\$4,290		
Stone Cobble/Rip-Rap to line ditch (MDOT R-46-D)	300	SYD	\$80	\$24,000	\$28	\$8,400	\$36	\$10,920		
Construction Subtotal				\$90,850		\$59,745		\$77,679		
Contingencies 20%				\$18,170		\$11,949		\$15,536		
Construction Total				\$109,020		\$71,694		\$93,215		
Surveying, Engineering & Permitting 12%				\$13,082		\$8,603		\$11,186		
TOTAL				\$122,102		\$80,297		\$104,401		

B/OME-9

_____ SPECIAL ASSESSMENT DISTRICT

ASSESSMENT AND MAINTENANCE AGREEMENT

This Agreement is dated this _____ day of _____, 2016, by and between the Grand Traverse County Road Commission, a quasi-municipal corporation, of 1881 LaFranier Road, Traverse City, Michigan, (the "Road Commission"), Peninsula Township, a Michigan township, of _____, MI 49690 ("Peninsula").

WHEREAS, Peninsula has established pursuant to Act 188 of 1954, MCL 41.21 *et seq* a special assessment district for the construction, improvement, and maintenance of a storm sewer (the "Improvement") located over real property located within Peninsula as depicted on Attachment ____ (the "District"); and

WHEREAS, roads under the jurisdiction of the Road Commission are located within the District; and

WHEREAS, once the District is established, the Township will be responsible for the construction, improvement, and maintenance of the Improvement; and

WHEREAS, the parties desire to set forth the Township and the Road Commission's right and responsibilities in the event that the Improvement causes or is likely to cause flooding within the roads under the jurisdiction of the Road Commission; and

WHEREAS, the Road Commission desires to agree to pay a special assessment for the Improvement as set forth herein pursuant to MCL 41.734; and

WHEREAS, this Agreement is authorized under the Intergovernmental Contracts between Municipal Corporations Act, MCL 124.1 *et seq* and MCL 41.734;

NOW THEREFORE, the parties in consideration of \$1.00, receipt of which is hereby acknowledged, and the mutual benefits and promises set forth herein, the parties agree as follows:

1. Special Assessment. In the event the District is established, the Road Commission shall pay an assessment as follows:

A. Basic Benefits. The Road Commission shall agree to pay a special assessment for the initial construction, maintenance, and improvement of the storm sewer in the amount of 50% of the county road benefit computed and determined under OAR 280.2. The apportionment established for the initial construction, maintenance, and

improvement of the storm sewer shall be utilized for any future assessment by the Township for subsequent maintenance or expansion of the Improvements.

B. Supplemental Benefits. For any facilities, structures, or mechanical devices which exceed the needs of the drainage district requested by the Road Commission, the Road Commission shall agree to pay a special assessment for those benefits as computed and determined under OAR 280.3. These costs will be billed separately from the Road Commission's basic benefit assessment.

2. Maintenance.

A. Routine. The Township shall provide all maintenance for the Improvements, including any portion of the improvements located within the County road right of way. In the event that routine maintenance is required that is or could cause flooding on to the roads under the jurisdiction of the Road Commission, the Road Commission may enter over and upon the lands comprising the Improvements and provide maintenance for the Improvements to eliminate the condition that is or could cause flooding on to the roads under the jurisdiction of the Road Commission if the Township fails to maintain the Improvements within 30 days after written notice of the need for maintenance.

B. Emergency. In the event that maintenance is required for the Improvements to prevent actual or imminent flooding or damage to the roads under the jurisdiction of the Road Commission, the Road Commission may immediately enter over and upon the lands comprising the Improvements and provide maintenance to the Improvement to eliminate the condition causing actual or imminent flooding or damage to the roads under the jurisdiction of the Road Commission.

C. Costs. In the event the Road Commission performs maintenance on the Improvements, the Township shall reimburse the Road Commission for the Road Commission's actual costs incurred in performing the maintenance.

3. Expansion of the District. In the event that the Improvements become insufficient or incapable of handling storm water runoff as a result of future development or additional flows into the District causing flooding onto the roads under the jurisdiction of the Road Commission, the Township shall initiate procedures to cause an expansion of the Improvements as may be necessary to handle the storm water runoff.

4. Work within County Road Right of Way. No work performed in connection with the Improvements within the roads under the jurisdiction shall be performed until a Permit to Construct, Operate, Use and/or Maintain with the Right-of-Way has been issued by the Road Commission and all work shall be subject to the terms and conditions of such Permit.

5. Not a Joint Venture. The parties do not intend this Agreement to be a joint venture.

6. Effective Date and Termination. This Agreement shall be effective on the date that the District is established by the Township and shall terminate in the event that the Improvements are established as a drainage district under the Drain Code of 1956, MCL 280.1 *et seq.*

7. Third Party Beneficiaries. This Agreement confers no rights or remedies on any third party, other than the parties to this Agreement and their respective successors and permitted assigns.

8. Execution in Counterparts. This Contract may be executed in counterparts, each of which shall be an original and all of which shall constitute the same instrument.

9. Entire Agreement. This Agreement, together with all items incorporated herein by reference, constitutes the entire Agreement of the parties and there are no valid promises, conditions or understandings which are not contained herein.

GRAND TRAVERSE COUNTY ROAD
COMMISSION

Dated:

Carl Brown, Chairperson

Debra J.M. Hunt, Clerk

Approved as to Substance:

Approved as to Form:

Jim Cook, Road Commission Manager

Karrie A. Zeits, Road Commission Attorney

PENINSULA TOWNSHIP

Dated:

Pete Correia, Supervisor

Monica Hoffman, Clerk

**PENINSULA TOWNSHIP
RESOLUTION REGARDING OLD MISSION SCHOOL**

Resolution No _____ of 2016

At a regular meeting of the Peninsula Township Board, Grand Traverse County, Michigan held in the Peninsula Township Hall, located in Peninsula Township, Michigan on _____, 2016.

Present: _____

Absent: _____

The following resolution was made by _____ and seconded by _____, to wit:

Whereas: Whereas the 2015-16 TCAPS process to select elementary schools for closing departed radically from previous practice in such a way as to ratify original administration proposal.

Whereas: On March 20, 2006 the TCAPS Board of Education initiated a TCAPS Long Range Master Planning process. The plan was used to guide the elementary school closing process in 2007. (School Closing Recommendation 2007 Page 2-3) The current TCAPS strategic plan expires in 2016 and is thus an inappropriate to guide the current school closing recommendations considerations.

Whereas: On May 21, 2007 The TCAPS Board of Education approved multiple criteria to assess which elementary schools should be closed, including the estimated cost of renovation in lieu of closing. (School Closing Recommendation 2007 Page 20)

Whereas: On May 21, 2007 the TCAPS Board of Education specifically excluded two recently reconstructed elementary schools and the four newest elementary schools from the closure analysis. (Old Mission was excluded due to recent reconstruction). (School Closing Recommendation 2007 Page 21)

Whereas: In 2007 TCAPS computed three different quantitative models using up to eight of the Board Approved criteria on the nine elementary schools under consideration. (School Closing Recommendation 2007 Page 23-25)

Whereas: in 2007 detailed redistricting configurations were prepared to reallocate students for each of the nine schools under consideration.

Whereas: In 2015-16 TCAPS employed the single criteria of “low enrollment schools” arbitrarily defined as less than 200 students.

Whereas: “Low enrollment schools” was purportedly an proxy for high overhead cost per student, yet the cost per student cut off was between Old Mission and Traverse Heights (\$150 difference), it should have been between Traverse Heights and Courtade (a \$430 difference) (Strategic Financial Planning 2016, page 50). The unstated criteria, preference for in town schools, were applied to exclude Traverse Heights from the analysis.

Whereas: In 2015-16 TCAPS reversed the overriding 2007 criteria designed to protect taxpayers investment in school buildings by excluding obsolete Eastern Elementary and including reconstructed Old Mission. . The unstated criteria, preference for in town schools, were applied to exclude Eastern Elementary from the analysis.

Whereas: In 2015-16 TCAPS specifically directed the Old Mission Focus Group that redistricting, even the simple inclusion of students in southern Peninsula Township, was not an acceptable alternative to closing Old Mission School.

Whereas: The 2015-16 process was driven by an unwritten policy of centralizing and enlarging elementary schools.

Whereas: The 2015-16 process was not informed by any formal assessment of the outcomes resulting from the 2007 closure process nor the subsequent elementary school capital program that followed.

Whereas: The 2008 closures of Bertha Vos and Norris reduced TCAPS elementary seats by 650, (Glenn Loomis remained open) TCAPS subsequently added 225 seats to Courtade, 125 seats to Blair, 190 seats to Long Lake and 150 seats to Willow Hill for total of 690 new elementary seats.

Whereas: The current administration plan to close the reconstructed Old Mission and redistrict students to fill a bigger Eastern Elementary (to be rebuilt from 300 to 450/500 seats) diverts millions in capital funds from other elementary capital needs, like the reconstruction of Glenn Loomis or Central Elementary.

Whereas: The 2007 option showing of redistricting after closing the aged Eastern Elementary is even more feasible in 2016. Eastern’s 300 students could be redistricted to Old Mission with 211 empty seats and Traverse Heights with 229 empty seats. Some students might also go to Cherry Knoll with the redistricting of some students to fill the 251 empty seats at Courtade which currently is at 56% occupancy). (See Page 150-1 of the Annual Financial Report 2015)

Whereas: A new TCAPS strategic plan, coordinated with TBAISD and NWM College, would likely find the Eastern Elementary site more useful for future secondary and post-secondary education.

Whereas: With a surplus of elementary seats in the district, it is wasteful of taxpayer funds to close a reconstructed school and build new elementary seats at an obsolete school.

Therefore, be it resolved:

That the Peninsula Township Board recommends that TCAPS save taxpayers dollars to the operating budget by closing the obsolete Eastern Elementary School and redistricting students to the empty seats at the reconstructed Old Mission and Traverse Heights Schools. Taxpayer's capital dollars would be more effectively employed by redirecting the Eastern Elementary reconstruction effort to ward other obsolete elementary schools, like Glenn Loomis and Central elementary schools.

Roll Call Vote:

Aye: _____

Ney: _____

Abstain: _____

References:

School Closing Recommendation, July 9, 2007.

Strategic Financial Planning: Low Enrollment Elementary Buildings, January 24, 2016

Comprehensive Annual Financial Report, June 30, 2015

April 4, 2016

Dear Pete Correia and Town Board Members,

It has come time that I announce my resignation from the Peninsula Township Fire Board, effective April 5, 2016. I am dedicating my energy and time to other areas.

Being a member of the fire board since its inception has been quite a journey. Like any other journey it has had its fair share of ups and downs. The past two years have been difficult from my point of view, putting hundreds of hours into working on short term and long term planning has consumed more time and effort then what I feel is appreciated or noticed.

Personally I feel that the majority of the town board members do not understand the concept of what it entails to operate and run a present day fire department. With all of the Federal and State regulations and requirements that govern the fire department there are areas of great concern that seem to be consistently over looked. We have many areas that need to be addressed in the short term such as apparatus, personnel, and stations.

The fire board has consistently voiced concerns on the same issues since the inception of the fire board and both former fire chiefs as well as a nationally recognized consultant have shared the same concerns. In regards to the rescue boat and the constant back and forth with the town board wanting to sell the boat is a disgrace to the people it serves. The boat has rescued been a key part in the rescue and recovery of multiple situations since its implementation.

The constant personal agendas and opinions have dragged the growth of the fire department down and do not benefit the citizens or the visitors of the peninsula. It is my hope that the town board can open there eyes and move forward with the growth of the fire department and do what is right for the tax payers that have elected you.

Regards,

A handwritten signature in black ink, appearing to read 'John Sprenger', with a long horizontal flourish extending to the right.

John Sprenger

TO: John Springer Fire Board Chair

FROM: Jonathan K. Goode

SUBJECT: Resignation

DATE: April 4, 2016

John,

Please consider this my official resignation from the Peninsula Township Fire Board.

Regards,

A handwritten signature in black ink, appearing to read 'Jonathan Goode', written over a large, stylized loop.

Jonathan Goode

To: Peninsula Township Board

From: Tony Andrus

Subject: my resignation

As of the end of the meeting of the Peninsula Township Fire board on 4/4/2016.

I hereby resign my position from the Peninsula Township Fire Board.

Best regards

Anthony Paul Andrus

Anthony P Andrus 4/4/2016

received
from Pete
4-27-16
1:15pm



**COUNTY ROAD IMPROVEMENT AGREEMENT BETWEEN
THE GRAND TRAVERSE COUNTY ROAD COMMISSION AND PENINSULA TOWNSHIP**

Mineral Brine	Estimated		
		Cost	Twp 75%
County Maintained	12.09	4745.33	3,558.99
Non County	1.20	471.00	471.00
Miles			13.29
Grand Total			4,029.99

- Peninsula Township has chosen 2 (number) applications of brine.
 Peninsula Township has chosen not to brine.
 The road list has been reviewed and there are no changes. (please initial)

The Board of County Road Commissioners' policy is to provide a 25% match for brine application on county maintained gravel roads with the Township paying 75%. The Township will pay 100% for all seasonal and public access roads requested.

This proposal is for the summer of 2016. Please return by April 13, 2016 to schedule the first application. The second application is scheduled for July, weather permitting.

*The above amounts are based on 2016 bids and are close approximations of costs to be incurred. Invoices will be based on actual costs billed to GTCRC which may vary from the estimates above.

Enclosed are road listings/approximated distances and maps of the areas to be brined. If any discrepancies are discovered, please contact us at your earliest convenience.

Township Supervisor

Dated

Township Clerk

Dated

Manager, GTCRC

Dated

Peninsula Township Gravel Roads

Road Name	From	To	Section	Length (in miles)
Brinkman Road	Swaney	Murray	26 35	1.3
Carroll Road	Center	West	4	0.5
Carroll Road	Center	East & South	4	0.6
Cherry Hill Road	Center	Heritage Circle	27 34	0.4
Dougherty Lane	Old Mission	Heritage Circle	35	0.2
Grand Street	Brinkman	Traverse	35	0.2
Heritage Circle	Dougherty	End	35	0.1
Mission School Rd	Mission Rd	End		0.15
Montague Road	Rolling Ridge	Gray	17	1.1
Neah ta wanta Road	Terrace	Four Oaks	19 20	1.1
Old Mission Road	Whispering	Peninsula	33 4	0.4
Peninsula Drive	Old Mission	Swaney	33 34	1.1
Phelps Road	Peninsula	End	9	1
Pyatt	Neah ta wanta	Seasonal		0.33
Ridgewood Road	Eastern	End	25 26	0.95
Smokey Hollow Ct	Smokey Hollow	End		0.1
Swaney Road	Center	End	27 28	0.9
Terrace Ave	Neah ta wanta	E Cabernet Cove	19	0.7
Traverse Street	Swaney	Woodland	35	0.3
Woodland	Brinkman	Eastern		0.26
Wunsch Road	Phelps		9	0.6

Total Mileage: 12.09

Non-County Public Access				
Bowers Pk Entrance				0.1
Haserot Beach				0.1
Center Rd Nature Reserve				100 x 70
Seasonal Rd.				
Forest Ave.	Eastern	Dead end	35	1

Total Mileage: 1.2

Grand Total 13.29

**PENINSULA TOWNSHIP
RESOLUTION REGARDING REQUEST FOR SPEED STUDY**

Resolution No _____ of 2016

At a regular meeting of the Peninsula Township Board, Grand Traverse County, Michigan held in the Peninsula Township Hall, located in Peninsula Township, Michigan on _____, 2016.

Present: _____

Absent: _____

The following resolution was made by _____ and seconded by _____, to wit:

Whereas: Peninsula Township is requesting that the Grand Traverse County Road Commission preform a speed study for the section of Bluff Road, near Boursaw.

Roll Call Vote:

Aye: _____

Ney: _____

Abstain: _____