

# PENINSULA TOWNSHIP

13235 Center Road, Traverse City MI 49686

Ph: 231.223.7322 Fax: 231.223.7117

[www.peninsulatownship.com](http://www.peninsulatownship.com)

PETER A. CORREIA  
SUPERVISOR

MONICA A. HOFFMAN  
CLERK

DAVID K. WEATHERHOLT  
TREASURER

MARK D. AVERY  
TRUSTEE

JILL C. BYRON  
TRUSTEE

PENELOPE S. ROSI  
TRUSTEE

WENDY L. WITKOP  
TRUSTEE

## REGULAR TOWNSHIP BOARD MEETING

March 15, 2016

7:00 p.m.

Township Hall

1. **Call to Order**
2. **Pledge**
3. **Roll Call**
4. **Approve Agenda**
5. **Brief Citizen Comments – for items not on the Agenda**
6. **Conflict of Interest**
7. **Consent Agenda**

Any member of the Board, staff, or the public may ask that any item on the Consent Agenda be removed and placed elsewhere on the agenda for full discussion.

1. Reports and Announcements (as provided in packet)
  - A. Officers – Clerk, Supervisor, Treasurer
  - B. Departmental – Planning Commission, Zoning Board of Appeals, Attorney, Engineer, Library, Fire Board, Park Commission and Township Deputy.
2. Correspondence (as provided in packet)
3. Edit lists of invoices (recommend approval)
4. Meeting Minutes
  - February 1, 2016 Special Joint Meeting Township Board and Fire Board
  - February 8, 2016 Special Budget Meeting
  - February 9, 2016 Special Joint Meeting Township Board and Fire Board and Regular Township Board Meeting
  - February 22, 2016 Special Budget Meeting
  - February 22, 2016 Special Joint Meeting Township Board and Planning Commission (recommend approval)
  - February 29, 2016 Special Budget Meeting
5. February 2016 Payroll (recommend approval)
6. Old Mission Women's Club Sign Request (recommend approval)
7. Daughters of the American Revolution Request (recommend approval)
8. 2016-2017 Regular Meeting Calendar (recommend approval)
9. Bloomer Storm Water Permit Fee Refund (recommend approval)

10. Park Commission Request for Township to be Chamber of Commerce Members (recommend approval)

**9. Township Board Business**

1. Mari Vineyards Winery–Chateau - Public Hearing
2. Bayshore Marathon 2016 Large Event Permit – Public Hearing
3. The 81 on East Bay Special Use Permit – Public Hearing
4. Fire Department Budget - Public Hearing
5. General Fund & Special Funds Budgets – Public Hearing
6. James and Nancy Kieft PA 116 Request
7. North Flight Medicaid Provider Information Request
8. Safe Boat Update

**9. Citizen Comments**

**10. Board Comments**

**11. Adjournment**

Peninsula Township has several portable hearing devices available for audience members. If you would like to use one, please ask the Clerk.

Planning Commission Report for March 2016 Town Board Meeting:

We held a Public Hearing on Zoning Ordinance Amendment #190 which addressed particular definitions which are found in the beginning of the Zoning Code. Definitions are important because they often clear up confusion in a zoning interpretation. Most of the definitions have been forwarded to the TB but the PC is reviewing two again: Bed and Breakfast Establishments and Existing non-conforming frontage roads.

We have begun the state required review of the Master Plan.

SUP# 126 Mari Vineyard Winery-Chateau was approved and moved forward to the TB.

SUP# 32 2<sup>nd</sup> Amendment and SUP#125 (both related to the Bowers Harbor Vineyard) have each been tabled

Penny Rosi

Claire Schoolmaster and Brian Boals (Gourdie-Frasier) and I attended the Capital Improvements Program (CIP) on February 24<sup>th</sup>. CIP's are required by the state, through the Michigan Planning Enabling Act (Act 33 of 2008), however we have never implemented a CIP on the Peninsula. In fact, the only township in GTC to have a CIP is Blair. John Sych (County Planner) has provided me with the Blair Township information (attached)

Essentially the CIP process is simple. Its purpose is to prioritize public improvements that should be implemented within a (rolling) five year schedule. As the improvements are achieved, the township adds new public improvements. Thinking of our township, we know that we have many capital improvements to fund: fire stations, firefighting equipment, a new town hall, playground equipment and other park improvements, a new library and a possible reuse of the school property if the school board chooses to close OMPS. Of course, CIP information also includes such things as membranes for the water filtration system and improvements for wastewater treatment. This comment makes me presume that the county and the city currently implement a capital improvement program.

An important benefit of CIP's is that citizens can have information to support future community needs. Knowledge of where we want to go helps with planning strategies.

Additionally, CIP information enhances applications for outside funding and state, federal and private grant programs.

The CIP process rests with the Planning Commission but includes direct communication with the Town Board regarding budget issues and future improvements.

Penny Rosi



**Director's Report**

**Statistics for February**

Circulation Feb. 2015 – 3574  
Circulation Feb. 2016 – 3493  
Outgoing Hold Transits – 736  
Incoming Hold Transits – 161  
Internet Users – 309 + 61 (TCAPS Units)  
Reference Questions – 378  
Special Requests – 9  
New Card Registrations – 1 (Temp. 0)  
TumbleBooks Users – 64 (11,658 since 4/11)  
Manual Checkouts - 40  
Volunteer Hours – 35.75 Hours, 9 Volunteers  
Garden Volunteers – 0 Hours, 0 Volunteers  
Student Volunteers – 2Hours, 2 Volunteers

**February Activity Attendance**

**(354 @ 18 programs)**

Teen meeting – 5  
Paranormal - 16  
Pageturners Book Club – 14  
Yoga - 24 (3 sessions)  
Chapter Chicks - 13  
Task Force - 9  
Story Stew – 45 (2 sessions)  
Tech Help – 2  
Table Crafts - 132  
Reading Dog – 58 (4 sessions)  
Be My Valentine - 30  
Game Day - 6

**Odds & Ends**

Our Books at the Boathouse fundraiser was held March 1<sup>st</sup> and was a great success. Over \$4300.00 was earned for the library. Many thanks are due Doug Kosch and the Boathouse crew. They are phenomenal hosts. Thanks to a financial sponsorship by Acentek Communications and silent auction donations by Horizon Books, virtually all funds earned come back to PCL.

Many thanks to TADL for the new staff computers and to Ed Barrett for installing them. Thanks as well to Bill Rockwood for the new catalog look. Our patrons love the sliders highlighting new items!

Our spring newsletter has been published and mailed to all Old Mission households as well as anyone who has requested it. Please take the time to see what is going on at our very active small library!

The PCL Board is seriously looking at options for the library given the issue with school enrollment and a recent large, anonymous donation to the community committee tasked with saving the school. We will share details as the board examines the current situation and analyzes what is in the best interests of the library's future.

Just a reminder that when Traverse City Area Public Schools are closed due to weather, PCL is also closed.

# Treasurer's Report

3/9/2016

To: Peninsula Township Board

Re: Treasurer Report for March Board meeting

Fellow Board Members:

**Treasurer Report:**

The contract with American Waste has been signed by all parties. This agreement will lock in the current price for five (5) years. This also includes the Compactor station.

Settlement with Grand Traverse County for 2015 taxes has been completed.

Find Cash Balance Sheet attached

I welcome any questions or comments.

David K. Weatherholt 

Peninsula Township Treasurer

03/09/2016

CASH SUMMARY BY FUND FOR PENINSULA TOWNSHIP  
FROM 03/31/2015 TO 02/29/2016  
CASH AND INVESTMENT ACCOUNTS

Fund	Description	Beginning	Ending
		Balance	Balance
		03/31/2015	02/29/2016
101	GENERAL FUND	651,142.26	647,071.41
206	Fire Fund	645,245.08	221,254.27
207	Police Fund	131,211.75	124,789.57
208	PARKS/HASSEROT/BHP/ARCHIE/BIG JON	255,091.27	112,863.99
211	Bata/Sr. Center	23,152.41	23,204.27
212	Pelizzari Natural Area	487,726.68	437,972.26
213	HESSLER LOG HOME	0.00	12,372.05
215	DOUGHERTY HOUSE	8,664.13	8,683.06
225	Summer Tax Collection	(5,131.70)	(2,974.53)
245	Roads	11,219.41	3,477.33
248	Building Fund	2,580.41	2,589.03
297	Purchase of Development Rights	1,432,583.78	1,375,621.44
298	Cable Council Fund	319,592.99	414,009.48
502	Tower Fund	451,712.22	454,644.16
508	Lighthouse Fund	53,515.35	22,922.01
509	LIGHTHOUSE GIFT SHOP	0.00	104,918.47
590	Sewer Fund	211,915.68	265,676.91
591	Water Fund	620,258.90	627,990.24
596	Compactor Station	26,035.66	26,100.48
701	Trust and Agency	46,266.14	39,533.58
703	Tax Collection	78,074.79	2,856,192.30
708	Library Trust and Agency Fund	504,764.92	359,319.32
	TOTAL - ALL FUNDS	5,955,622.13	8,138,231.10

# SWOGGER, BRUCE & MILLAR LAW FIRM P.C.

## ATTORNEYS

MICHAEL J. SWOGGER  
HEATHER S. G. BRUCE  
TODD W. MILLAR  
MARK P. BICKEL  
LUKE J. PICKELMAN  
COURTNEY J. MARSHALL  
KELLY A. LLOYD

KAREN S. KIENBAUM  
OF COUNSEL

February 11, 2016

Pete Correia and Monica Hoffman  
Peninsula Township  
13235 Center Road  
Traverse City, MI 49686

RE: Legal work for Peninsula Township

Dear Pete and Monica:

I would like to thank both of you for attending our recent seminar on employment law. I hope that you find value in what is discussed and I would like to hear if you have any ideas for topics for upcoming seminars.

I am writing to express my interest in having an opportunity to do more legal work for Peninsula Township. As you may know, I am a resident of Whitewater Township and have served on the Zoning Board of Appeals. Therefore, I have a working knowledge of the Township Zoning Ordinances and Township inner workings, at least as it relates to zoning and land use. I have also had the opportunity to represent Peninsula Township in past litigation at the request of the Township's insurer. As you may or may not know, I am the appointed counsel for Northwest Lower Michigan for HCC Public Risk, which is the third-party administrator for the Michigan Township Participating Plan and other insurance pools insuring small to medium-sized municipalities. As a result, I've had the opportunity to represent numerous townships, villages, fairs and festivals in litigation ranging from land use to employment and from contracts to constitutional claims in both state and federal courts. I have served in this capacity for over fifteen years and have been litigating for almost twenty-five. Representing municipalities in litigation gives me insight to the inner workings of municipalities as well as what can go wrong when things are not handled properly.

As you know, Swogger, Bruce & Millar is a small firm located in Traverse City. The three partners, Mike Swogger, Heather Bruce, and myself all come from larger firms and have various experiences including litigation, business planning and development, estate planning, etc. We have also brought on board Karen Kienbaum, who you have met at our employment law seminars. She is "of counsel" with our firm and can provide invaluable advice and services in the employment law arena. Our firm is also blessed to have two very good young associates in Courtney Marshall and Kelly Lloyd, who are excellent at

researching and writing and can usually find answers to almost any question that may be posed. I would invite you to visit our website at [www.swoggerandbruce.com](http://www.swoggerandbruce.com) to find out more about our firm.

As previously stated, I would welcome the opportunity to submit a proposal to provide services to Peninsula Township if the opportunity presents itself. While my practice is generally based upon the billable hour, I am open to discussing flat fee arrangements, as there are several areas of law that lend themselves to that type of billing practice. I can also provide you with references should that be necessary.

Thank you for taking the time to review this letter. Please let me know how we can take this discussion to the next level if you believe it would be beneficial to Peninsula Township.

Very truly yours,

  
Swogger, Bruce & Millar  
Todd W. Millar

TWM/ejk

# Peninsula Township Invoice Approval Report

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03/10/2016 01:43 PM

<b>VENDOR</b>	<b>DESCRIPTION/DISTRIBUTION</b>	<b>AMOUNT</b>
APOLLO FIRE EQUIPMENT	COUPLINGS TOOL <i>206-000-933.000</i> 26.11	\$26.11
ARTS AUTO ELECTRIC	BLADE GUIDE <i>206-000-933.000</i> 32.64	\$32.64
AT & T	FD 2 PHONES <i>206-000-850.000</i> 93.45	\$93.45
BARBARA BERTHELSEN	ELECTION <i>101-191-707.000</i> 225.00	\$225.00
BILLIE FROST	ELECTION <i>101-191-707.000</i> 117.00	\$117.00
BURNS CAROLYN	ELECTION <i>101-191-707.000</i> 133.00	\$133.00
CHARTER COMMUNICATIONS	FD <i>206-000-818.000</i> 159.98	\$159.98
CHARTER COMMUNICATIONS	MARCH 2016 OFFICE <i>101-173-818.000</i> 89.98	\$89.98
CHARTER COMMUNICATIONS	INTERNET <i>101-173-818.000</i> 64.98	\$64.98
CHS	PROPANE TOWNHALL <i>101-265-745.000</i> 343.31	\$343.31
CINTAS	RUG RENTAL <i>206-000-818.000</i> 56.39	\$56.39
CINTAS	RUG RENTAL <i>101-265-818.000</i> 57.42	\$57.42
CIPKO KATHERINE	ELECTION <i>101-191-707.000</i> 114.00	\$114.00
CONSUMERS ENERGY	MARCH 2016 FD2 STREET LIGHTS <i>206-000-926.000</i> 13.08	\$13.08

<b>VENDOR</b>	<b>DESCRIPTION / DISTRIBUTION</b>	<b>AMOUNT</b>
CONSUMERS ENERGY	MARCH 2016 STREETLIGHTS	\$346.59
	<i>101-000-226.010</i>	<i>10.48</i>
	<i>101-265-926.000</i>	<i>17.64</i>
	<i>101-265-926.000</i>	<i>28.63</i>
	<i>101-000-226.000</i>	<i>14.32</i>
	<i>101-000-226.075</i>	<i>18.89</i>
	<i>206-000-926.000</i>	<i>10.07</i>
	<i>101-265-926.000</i>	<i>10.07</i>
	<i>208-751-926.000</i>	<i>40.27</i>
	<i>101-000-226.030</i>	<i>10.07</i>
	<i>101-000-226.040</i>	<i>10.07</i>
	<i>101-000-226.060</i>	<i>140.93</i>
	<i>101-000-226.070</i>	<i>10.07</i>
	<i>206-000-926.000</i>	<i>12.56</i>
	<i>101-265-926.000</i>	<i>12.52</i>
CONSUMERS ENERGY	MARCH 2016 4016 SWANEY RD STREET LIGHTS	\$19.18
	<i>208-751-926.000</i>	<i>19.18</i>
CONSUMERS ENERGY	MARCH 2016 TOWNHALL STREET LIGHT	\$26.17
	<i>101-265-926.000</i>	<i>26.17</i>
CONSUMERS ENERGY	MARCH 2016 BHP STREETLIGHT	\$21.70
	<i>208-751-926.000</i>	<i>21.70</i>
CRAMPTON WANDA	ELECTION	\$114.00
	<i>101-191-707.000</i>	<i>114.00</i>
DANIELS HARRY	ELECTION	\$192.00
	<i>101-191-707.000</i>	<i>192.00</i>
DEWEESE HARDWARE	INSERTS AND SIGNS	\$6.07
	<i>206-000-726.000</i>	<i>6.07</i>
DEWEESE HARDWARE	SUPPLIES	\$37.93
	<i>206-000-930.000</i>	<i>37.93</i>
DEWEESE HARDWARE	PAINT	\$59.98
	<i>206-000-930.000</i>	<i>59.98</i>
DISH NETWORK	TV SERVICE	\$99.99
	<i>206-000-818.000</i>	<i>99.99</i>
EBERT SHIRLEY	ELECTION	\$114.00
	<i>101-191-707.000</i>	<i>114.00</i>
GOURDIE-FRASER, INC	VILLA MARI	\$1,008.00
	<i>701-000-255.STW</i>	<i>1,008.00</i>
GOURDIE-FRASER, INC	THE 81 ON EAST BAY	\$3,165.00
	<i>101-410-818.000</i>	<i>3,165.00</i>
GOURDIE-FRASER, INC	GENERAL CONSULTING	\$240.00
	<i>101-209-818.000</i>	<i>240.00</i>

<b>VENDOR</b>	<b>DESCRIPTION/DISTRIBUTION</b>	<b>AMOUNT</b>
GOURDIE-FRASER, INC	VILLA MARI <i>701-000-255.STW</i> 709.00	\$709.00
GOURDIE-FRASER, INC	FRANCIS STW <i>701-000-255.STW</i> 240.00	\$240.00
GOURDIE-FRASER, INC	GENERAL CUNSLTING TB MEETING <i>101-101-818.000</i> 240.00	\$240.00
GOURDIE-FRASER, INC	MAPLE TERRACE <i>101-101-967.LHB</i> 360.00	\$360.00
GOURDIE-FRASER, INC	VILLA MARI <i>701-000-255.STW</i> 378.00	\$378.00
GOURDIE-FRASER, INC	VILLA MARI <i>701-000-255.STW</i> 813.40	\$813.40
GOURDIE-FRASER, INC	TOWNSHIP MAPPING <i>206-000-818.000</i> 80.00	\$80.00
GRAHAM ELECTRIC MOTOR SERVICE	EXERCISOR LABOR <i>206-000-933.000</i> 395.25	\$395.25
GT COUNTY TREASURER	JANUARY - MARCH 2016 <i>207-000-818.000</i> 19,604.25	\$19,604.25
GT COUNTY TREASURER	JANUARY 2016 SEWER <i>590-000-818.000</i> 2,306.10	\$2,306.10
GT COUNTY TREASURER	DECEMBER 2015 SEWER <i>590-000-818.000</i> 54,661.43	\$54,661.43
GT COUNTY TREASURER	DECEMBER 2015 WATER <i>591-000-818.000</i> 44,489.28	\$44,489.28
GT COUNTY TREASURER	JANUARY 2016 WATER <i>591-000-818.000</i> 3,702.90	\$3,702.90
HURST MECHANICAL	JANUARY PREVENTATIVE MAINTENANCE INSPECTION <i>206-000-930.000</i> 194.00	\$194.00
I.T. RIGHT	BASIC ROUTER FIREWALL <i>101-173-818.000</i> 150.00	\$150.00
I.T. RIGHT	BASIC ROUTER <i>101-173-818.000</i> 135.00	\$135.00
I.T. RIGHT	VIPRE MANAGE ANTI-VIRUS <i>101-173-818.000</i> 180.00	\$180.00
KING FRANCES	ELECTION <i>101-191-707.000</i> 192.00	\$192.00

<b>VENDOR</b>	<b>DESCRIPTION/DISTRIBUTION</b>	<b>AMOUNT</b>
KOPY SALES, INC.	COPIES <i>206-000-900.000</i>	40.00 \$40.00
LINGER JEAN	ELECTION <i>101-191-707.000</i>	192.00 \$192.00
LINGER MICHAEL	ELECTION <i>101-191-707.000</i>	238.00 \$238.00
LIVE ACTION SAFETY	SUCTION CUPS <i>206-000-932.000</i>	349.26 \$349.26
LIVE ACTION SAFETY	NOSE PLUGS <i>206-000-932.000</i>	18.90 \$18.90
MCCARDEL CULLIGAN WATER	COOLER RENTAL <i>101-173-818.000</i>	23.00 \$23.00
MCKENNA ASSOCIATES	PROFESSIONAL SERVICES <i>101-400-818.000</i>	2,623.64 \$2,623.64
MCNAMARA, JEFF	CHURCHSIDE VILLAGE APARTMENT AND PFE <i>206-000-818.000</i>	260.00 \$260.00
MICHIGAN RESCUE CONCEPTS	ICE ANCHOR SCREW & ICE AWLS <i>206-000-933.000</i>	133.80 \$133.80
NANCY DAVY	ELECTION <i>101-191-707.000</i>	114.00 \$114.00
NORTH FLIGHT, INC	BILLING AND COLLECTIONS <i>206-000-225.000</i>	175.00 \$175.00
NORTHERN FIRE & SAFETY	TESTING <i>206-000-930.000</i>	216.00 \$216.00
NORTHERN OFFICE EQUIPMENT	BIZHUB <i>101-173-818.000</i>	327.25 \$327.25
NYE UNIFORM	UNIFORMS <i>206-000-935.000</i>	241.42 \$241.42
PENINSULA MARKET	PROPANE TANK <i>206-000-726.000</i>	24.37 \$24.37
RADIO NORTH LLC	PROGRAMMED HERN RADIO IN 7 BRAVO <i>206-000-851.000</i>	150.30 \$150.30
RAPHAEL CAROL	ELECTION <i>101-191-707.000</i>	238.00 \$238.00
RECORD EAGLE (SUBS)	SUB <i>206-000-818.000</i>	273.49 \$273.49

<b>VENDOR</b>	<b>DESCRIPTION/DISTRIBUTION</b>	<b>AMOUNT</b>
SHIRLEY BAYLIS	ELECTION <i>101-191-707.000</i>	<i>114.00</i> \$114.00
SUSAN CRAMPTON	ELECTION <i>101-191-707.000</i>	<i>216.00</i> \$216.00
SUSAN SHOOLTZ	ELECTION <i>101-191-707.000</i>	<i>24.00</i> \$24.00
THE BANK OF NEW YORK MELLON TRUST	PENINSULA TWP 2006 LTGO BONDS <i>212-000-991.000</i> <i>212-000-995.000</i>	<i>255,000.00</i> <i>14,681.25</i> \$269,681.25
TRAVERSE CITY LIGHT & POWER	HOMESTEAD STREETLIGHT <i>101-000-926.020</i>	<i>7.97</i> \$7.97
VERIZON WIRELESS	TABLETS <i>101-901-970.173</i>	<i>120.20</i> \$120.20
VERIZON WIRELESS	TABLETS <i>101-901-970.173</i>	<i>121.18</i> \$121.18
VERIZON WIRELESS	TABLETS <i>101-901-970.173</i>	<i>90.14</i> \$90.14
VERIZON WIRELESS	CELL PHONES <i>206-000-850.000</i> <i>207-000-850.000</i> <i>206-000-850.000</i> <i>508-000-850.000</i>	<i>50.04</i> <i>55.27</i> <i>173.87</i> <i>9.57</i> \$288.75
VERIZON WIRELESS	TABLETS <i>101-901-970.173</i>	<i>82.10</i> \$82.10
VERIZON WIRELESS	TABLETS <i>101-901-970.173</i>	<i>80.12</i> \$80.12
WACLAWSKI SHIRL	ELECTION <i>101-191-707.000</i>	<i>234.50</i> \$234.50
WENDA WARREN	ELECTION <i>101-191-707.000</i>	<i>186.00</i> \$186.00
WILKINSON ROBERT	CLEANING <i>101-265-818.000</i>	<i>700.00</i> \$700.00
<b>Total:</b>		<b>\$413,392.20</b>

**Peninsula Township  
Special Joint Meeting  
Town Board & Fire Board  
February 1, 2016**

Meeting called to order at 6:00 p.m.

Present:

Town Board: **Avery; Byron; Hoffman; Witkop**

Fire Board: **Atkinson; Sprenger; Goode**

Also present were *Fire Chief Ronk* and *Mary Ann Abbott*, recording secretary.

Absent: Correia ; Weatherholt ; Rosi ; Andrus; Ball

**MOTION: Byron/Witkop** to approve Monica Hoffman as the Chair.

**PASSED UNAN**

**Approve Agenda**

**TOWN BOARD MOTION: Byron/Witkop** to approve agenda

**PASSED UNAN**

**FIRE BOARD MOTION: Atkinson/Goode** to approve agenda

**PASSED UNAN**

**Brief Citizen comments – for items not on the Agenda**

*Anne Griffiths, 14548 Bluff Road* expressed her concern that a letter for Robert Cooney, Prosecuting Attorney Grand Traverse County to Peninsula Township Attorney Peter Wendling and copy to Township Clerk regarding land division complaint was approved under last meetings consent agenda and that members of the Town Board did not bring the matter up for discussion.

**Hoffman** it will be added on next month's agenda.

**Conflict of Interest**

Town Board: None

Fire Board: None

**Business**

**1. ISO Continued Discussion**

**Hoffman** the Town Board and Fire Board were asked to send in any questions that they had following the last meeting. They will have another joint meeting next Tuesday (February 9, 2016) one hour before the regular Town Board meeting

**Sprenger** the Fire Board will also be discussing this at tonight's regular meeting

**Sprenger** suggests that they review the questions submitted. Question 1. I am concerned about the figures that states we currently save homeowners \$18,128,943.00 through insurance saving annually...When the entire tax liability is \$20,000,000.00. Please provide solid facts on this?

**Sprenger** stated that he did reach out to ask where the report obtained those figures. He suggested that it may be a generic number multiplied times the number of dwellings. **Ronk** stated that this number is not as important as the reality that the liability will go up due to the ISO rating and that he would rather talk about how to improve the fire department. **There are** difficulties and we need to focus on these. Discussion continued on the how ratings affect homeowner's insurance, cost of implementing every recommendation of the ISO, and if there have been discussions with Traverse City Fire.

**Sprenger** indicated that the Fire Board should have solid numbers from TC Fire to look at in the next two weeks.

**Avery** Emphasis should be on good ambulance services.

**Hoffman** asked Ronk for a copy of his presentation to put on the website.

**Witkop** we all agree that our decisions here could effect people's insurance rates and we would rather have money spent with the Fire Department than with Insurance companies. Concerned that we are not talking to other agencies within the area to determine deficiencies. **Sprengr** gave brief history of who has been contacted over this issue. **Ronk** What you have is that you are understaffed and have archaic equipment and you could fix both at the same time.

**Bryon** how willing is this board to go out on the number of stations, locations and staffing issue. What is realistic for this Peninsula?

**Ronk** You need 15 people 5 a day 24-hour coverage 2 stations staffed. You need a second station staffed. 1.5 million for staff. Equipment is about 2.5 million. Then you look at buildings. If it is spread out over 20 years it is do-able.

**Sprengr** Question Two. Throughout the 12/8/15 presentation it was mentioned that we lacked the proper uniforms, pumps hoses and training and yet the township has always had money in the department budget for these items. Why have these items not been purchases/updated?

**Sprengr** We have pretty much worked through these items since the report.

**Sprengr** Question Three. One of the recommendations is that there are ALWAYS four people who respond to any emergency. What is the plan if the township keeps the safe boat to be sure there are enough people to cover on land and on the water emergencies?

**Ronk** You will never be able to guarantee that you will have four in reserve people available for emergencies That is where mutual aid comes into play and joining a larger service. I understand that the Safe Boat is a hot topic.

**Hoffman** We cannot staff for every scenario. **Ronk** Four people a day are twice what you have now.

**Sprengr** Question Four. With regards to ALWAYS having four people respond, can we pay people to be at home an on call if needed?

**Ronk** you do not get ISO credit for that

**Witkop** Is there a distance they should be from a fire to get credit from ISO. **Ronk** five miles from a staffed station. We just do not have the volunteer department available

**Sprengr** How much of the rating are lower since 2012 are due to ISO standards changing.... verses the work or lack of staff etc?

**Hoffman** we do not need to dwell on this question. Encourages everyone to look at there own insurance and see how your own insurance will be affected.

**Hoffman** We will go over Sherm's report at the next meeting.

#### **Citizen Comment**

None

#### **Board Comments**

Town Board: None

Fire Board:

**Goode** There is an individual who has offered to help the Fire Board if needed. He will provide contact information to Clerk.

**Ronk** Is it appropriate for us to put some accurate numbers for next meeting? **Hoffman** Suggestion is that Sherm and Ronk get together and put together with some good figures.

**Witkop** We all agree that we have some deficiencies and I would like to see options

**Hoffman** Next Joint meeting is next Tuesday, February 9-2016 at 6:00 PM

Meeting adjourned at 7:58 P.M. Respectfully submitted by Mary Ann Abbott, Recording Secretary.

**PENINSULA TOWNSHIP BOARD  
SPECIAL MEETING  
CONFERENCE ROOM  
February 8, 2016**

Meeting called to order at 1:00 p.m.

**PRESENT:** Correia, Hoffman, Weatherholt, Avery, Byron, Rosi and Witkop

**ABSENT:** none

1. Call to order
2. Pledge
3. Roll Call
4. Approve Agenda  
MOTION: Avery/Witkop to approve agenda.
5. Brief Audience Comments – None
6. Conflict of Interest – None
7. Business

**Passed Unan**

1. Review 2016-2017 Budget / Discussion

Discussion on the 2016-2017 special funds budgets, Board consensus was to bring the PDR monitoring in house with staff for this upcoming year.

8. Citizen Comments – Nancy Heller 3091 Blue Water Road, and Margaret Achron, 11284 Peninsula Dr.
9. Board Comments – None

MOTION: Weatherholt/Hoffman to adjourn at 3:06 p.m.

**Passed Unan**

These minutes stand to be approved at the next meeting.

Respectfully Submitted,

Monica A. Hoffman CMC  
Peninsula Township Clerk

**PENINSULA TOWNSHIP**

**Special Joint Meeting with the Township Board & the Fire Board and Regular Township Board Meeting  
February 9, 2016**

Meeting called to order at 6:00 p.m.

**Roll Call**

**Township Board:** Correia, Rosi, Weatherholt, Hoffman, Byron and Avery

**Fire Board:** Sprenger, Atkinson, Goode and Ball

**Absent:** Witkop (excused) & Andrus (excused)

**Also Present:** **Chief Steve Ronk**, Fire Department, **Peter Wendling**, (arrived at 6:45 p.m.) Township Attorney; **Michelle Reardon**, Director of Planning and Zoning (arrived at 7:00 p.m.) and **Deb Hamilton**, Recording Secretary

**Approve Agenda**

**Township Board:**

**MOTION: Hoffman/Byron** to approve the agenda as presented.

**MOTION PASSED**

**Fire Board:**

**MOTION: Ball/Atkinson** to approve the agenda as presented.

**MOTION PASSED**

**Brief Citizen Comments – for items not on the Agenda**

*Donna Hornberger, 6730 Mission Ridge, President of Peninsula Community Library and Planning Commissioner, spoke about the possible closing of Old Mission Elementary School.*

**Conflict of Interest**

**Township Board:** None

**Fire Board:** None

**Joint Township Board & Fire Board Business**

**ISO Continued Discussion**

**Chief Ronk** said the goal is to update and improve Fire/EMS services within Peninsula Township. An increase of the Fire Department millage is required to accomplish the identified goals. Staffing will cost \$1,650,000 - mill equivalent 2.54 annually, apparatus will cost \$2,500,000 - mill equivalent .40 for 10 years and facilities will cost \$5,000,000 – mill equivalent .40 for 20 yrs for a total of 3.34 mills. **Correia** said neighboring townships' mill rates vary from 2.2 to 4.0 (some are fire and medical but some are just fire).

**Avery** said he wants to know dollar figures not just the mills. **Hoffman** asked if the added staff will be paramedics. **Chief** said would be able to provide ALS. **Byron** asked what land would be used for new stations. **Sprenger** said most is PDR. There are some privately owned parcels. There was discussion about locations and availability of water and sewer. **Sprenger** said he checked with North Flight about providing the ALS portion (one Paramedic at each station) the rough number is \$350,000 to \$500,000 a year for personnel only. **Hoffman** said Witkop also mentioned that since the Township has a \$20,000 limit on contract should this go out for a RFP. **Sprenger** said it has been mentioned to Metro and could talk to Blair Township. **Ball** said City is the only answer for ALS. Metro does not have the paramedics and

North Flight would have to be added. The agreement with City would be similar to the airport contract. **Sprengr** said on top of two paramedics the Township would gain their command structure, administration, building inspector and education. **Ball** said the medical part could be done within 30 days. It is just the matter of getting the contract. **Goode** said if the Township gets ALS in 30 days we will find out if they are good partners. **Sprengr** said 2016-2017 budget needs to be done but part of it is which way we are going with this. **Weatherholt** asked if the Fire Board has decided which way to go. **Sprengr** said talked about it for the first time at the last Fire Board meeting. **Byron** asked if contracting out everything has been looked at and going out of the Fire Department business. **Ball** said it is common to do it the way proposed. **Byron** said need to continue to meet on this topic.

### **Safe Boat**

**Correia** said the question is can the Township sell the boat. **Wendling** said the State Police are interested in the boat. The State Police said they know the FEMA rules and there is not a problem selling the boat. The State Police has a narrow time line to purchase the boat. There is concern whether there would be adverse consequences in the future if the Township would want other grants. At this point Wendling has not gotten to the individuals he needs to talk to at FEMA. Reardon will get information to Wendling that is not classified so Wendling can talk to the individuals who have the authority. Wendling hopes to have the answer to the Board in writing by the March board meeting. **Ball** said if contract with the City there would be an interest in the boat. The Township has invested a lot of time and money in training for the boat.

**Hoffman** asked about scheduling more meetings. There was consensus to meet before the Township Board meetings and the Fire Board meeting.

**MOTION: Atkinson/Sprengr** to adjourn Fire Board at 6:59 p.m.

**MOTION PASSED**

### **Consent Agenda for Township Board**

1. Reports and Announcements (as provided in packet)
  - A. Officers – Clerk, Supervisor (January and February), Treasurer
  - B. Departmental – Planning Commission, Zoning Board of Appeals, Attorney, Engineer, Library, Fire Board, Park Commission and Township Deputy.
2. Correspondence
3. Edit lists of invoices and additions
4. Meeting Minutes
  - January 14, 2016 Special Meeting
  - January 14, 2016 Special Joint Planning Commission, ZBA and Township Board Meeting (recommend approval)
5. January 2016 Payroll (recommend approval)
6. Friends of the Library Sign Request (recommend approval)
7. First Congregational Church Sign Request (recommend approval)

**Byron** asked about Verizon invoice. **Hoffman** said she will look into it. Rosi had correction on the January 14, 2016 Special Joint Planning Commission, ZBA and Township Board Meeting; Page 1 “Sickerman” should be “Sickterman”, “project” should be “protect” and add “to” to “he would like look at options”.

**MOTION: Weatherholt/Rosi** to approve the Consent Agenda as amended.

**Roll Call Vote: Rosi-yes, Weatherholt-yes, Correia-yes, Hoffman-yes, Byron-yes and Avery-yes**

**MOTION PASSED**

**Business**

**Bowers Harbor Vineyard (BHV) Ordinance Amendment Request**

**Reardon** said Linda Stegenga sent a letter requesting a new ordinance to accommodate their business. This the last option before enforcement. Exceptions to the ordinance cannot be provided. Keep in mind any new ordinance would be available to everyone. **Hoffman** said at the November meeting the Board decided to not change the definition of season for roadside stands. Options have been discussed with BHV. **Rosi** asked why BHV cannot continue to be a non-conforming legal use. **Wendling** said because it was not legal to begin with. The state of the law is that regardless of the fact that BHV was able to violate the ordinance they do not come in with equity because BHV has been able to do something they have been otherwise been forbidden to do. The law is in the favor of the Township. The Township could end up losing that portion of the ordinance if the violation continues because now the Township knows BHV is in violation.

**TBA ISD and Peninsula Township Agreement for Collection of Summer School Property Taxes**

**Byron** asked if the Township can say TBA ISD should collect their taxes. **Weatherholt** said the County will do it for them. **Rosi** questioned the wording of the agreement. Weatherholt explained.

**MOTION: Hoffman/Byron** to approve Resolution 2016-2-9-#1 and authorize the Clerk, Treasurer and Supervisor to sign.

**Roll Call Vote: Weatherholt-yes, Correia-yes, Hoffman-yes, Byron-yes, Avery-yes and Rosi-yes**

**MOTION PASSED**

**Appoint Committee for Lighthouse/Gift Shop/Historical Society Donations**

**Weatherholt** said for years it has been talked about the split for donations collected at lighthouse and the log cabin. A contract is needed for this issue. A committee with a member from the Township Board, Historical Society and Park Commission should be selected. Weatherholt will be the Township Board representative. Historical Society and Park Commission need to select a representative.

**Renew Buildings/Grounds Maintenance Contract**

There was discussion about the increase in the per project rate. It was explained that this is an option to extend the contract for a third and/or fourth year.

**MOTION: Weatherholt/Hoffman** to approve \$83,417 for Wilkinson's contract for April 1, 2016 through March 31, 2017.

**Roll Call Vote: Correia-yes, Hoffman-yes, Byron-no, Avery-yes, Rosi-yes and Weatherholt-yes**

**MOTION PASSED (5-1)**

**Approval of DPW Budget Amendment**

Correia reviewed documents.

**MOTION: Avery/Weatherholt** to pay amount.

**Roll Call Vote: Hoffman-yes, Byron-yes, Avery-yes, Rosi-yes, Weatherholt-yes and Correia-yes**

**MOTION PASSED**

**The 81 on East Bay Update**

**Wendling** said appellants have asked for leave with Court of Appeals. Wendling will file a brief. The Court will take about three months to decide if they will accept it. Items that have been remanded are proper engineering plans for fire road and County Soil Erosion issue a permit or a letter saying a permit will be issued. **Reardon** said there is an engineered plan for the fire road. They have been working with the Fire Chief with fire road as well as the fire suppression system. Final grading plans on the lots are also being worked on so the Township's engineer can sign off on storm water review. There will be a scheduled public hearing on March 15, 2016.

#### **Prosecuting Attorney Letter Update – Peter Wendling**

**Wendling** said Graham responded to original letter from Cooney and called twice but Cooney has not responded.

#### **Citizen Comments**

*Anne Griffiths, 14548 Bluff Rd.*, commented about signs on Little League field score board and banners on the fence during games and land division issue.

*Monnie Peter, 1425 Neah-Ta-Wanta Rd.*, commented about land division issue.

*Brit Eaton, 1416 Neah-Ta-Wanta Rd.*, commented about land division issue.

*Anne Griffiths, 14548 Bluff Rd.*, commented again about land division issue.

#### **Board Comments**

Wendling summarized Graham's letter to Cooney. **Rosi** commented about the Township's Land Division Ordinance and the Land Division Act. It bothers her that the Land Division Ordinance does not require neighbors to be noticed. **Byron** said her concern is the implication that land owners can say they own the land from the Ordinary High Water Mark to the shoreline. **Wendling** said the Supreme Court says they do own it.

#### **Adjournment**

**MOTION: Avery/Weatherholt** to adjourn at 9:15 p.m.

**MOTION PASSED**

Respectfully submitted by Deb Hamilton, Recording Secretary

These minutes stand to be approved at the next meeting scheduled for March 15, 2016

**PENINSULA TOWNSHIP BOARD  
SPECIAL MEETING  
CONFERENCE ROOM  
February 22, 2016**

Meeting called to order at 9:00 a.m.

**PRESENT:** Correia, Hoffman, Weatherholt, Avery, Rosi and Witkop (arrived at 9:15 a.m.).

Also present: Fire Board members: Sprenger and Atkinson, and Park Commissioners: Saunders and Skurski.

**ABSENT:** Byron (excused)

1. Call to order
2. Roll Call
3. Approve Agenda – Motion: Weatherholt/Avery to approve.
4. Brief Audience Comments – for items not on the agenda – None
5. Conflict of Interest – None
6. Business

**Passed Unan**

**1. Review of 2015 – 2016 Budgets**

The board met with Fire Board and Park Commissioners to discuss 2016/2017 fiscal year's budget. The township board has to publish for a public hearing to be held on March 15, 2016 on a Fire Department mileage request. The mileage approved at the year-end meeting cannot exceed the amount publish, however the board can approve a lesser amount. After brief discussion the following motion was made.

Motion: Avery/Witkop to publish for a millage request of 1.5 mills.

**Motion Failed**

Motion: Witkop/Avery to publish for a millage request of 1.4 mills, but not necessarily collect 1.4 until further board discussion.

**Motion Passed**

7. Citizen Comments – Margaret Achron, 11284 Peninsula Dr. commented on the Fire Stations. Anne Griffiths, 14548 Bluff Rd., asked if she could have a clarification on the Parks Balances.
8. Board Comments – None

Motion: Avery/Witkop to adjourn at 12:50 p.m.

These minutes stand to be approved at the next meeting.

Respectfully Submitted,  
Monica A. Hoffman CMMC/CMC  
Peninsula Township Clerk

**Peninsula Township  
Special Joint Meeting with the Township Board & Planning Commission  
February 22, 2016**

Meeting called to order at 5:30 p.m.

Present: Town Board – **Rosi; Witkop; Weatherholt; Correia**, Chair; **Hoffman; Avery**  
Planning Commission - **Serocki; Hornberger; Leak**, Chair; **Serocki; Peters; Wunsch**  
Absent were Byron, Town Board and Couture, Planning Commission. Both excused.

Also present were *Peter Wendling*, Township Attorney, *Michelle Reardon*, Director of Planning and Zoning, *Claire Schoolmaster*, Planning and Zoning Coordinator and *Mary Ann Abbott* Recording Secretary.

**Approve Agenda**

Township Board

**MOTION: Hoffman/Witkop** to approve agenda. **PASSED UNAN**

Planning Commission

**MOTION: Peters/Serocki** to approve agenda. **PASSED UNAN**

**Brief Citizen Comments – for items not on the Agenda**

None

**Conflict of Interest**

Township Board – None

Planning Commission - None

**Consent Agenda**

Any member of the Board, staff, or the public may ask that any item on the Consent Agenda be removed and placed elsewhere on the agenda for full discussion.

1. Meeting Minutes- Special Joint TB/PC/ZBA January 14, 2016 (recommend approval)

Township Board

**MOTION: Weatherholt/Witkop** to approve Consent Agenda.

**Roll Call Vote: Rosi –YES; Witkop-YES; Weatherholt-YES; Correia- YES; Hoffman-YES; Avery-YES PASSED UNAN**

Planning Commission

**MOTION: Wunsch/Peters** to approve agenda. **PASSED UNAN**

**Hoffman** reminded staff that the Zoning Board will also need to approve the minutes of January 14, 2016.

**Business**

1. Zoning Ordinance diagnostic review (Introduction and Discussion)

*Michelle Reardon*, Director of Planning and Zoning provided the introduction. The staff of McKenna Associates has reviewed the Peninsula Township Zoning Ordinance and other township documents. McKenna has put together a Diagnostic Review of the Peninsula Township Zoning Ordinance indicating the recommendations on how they propose to proceed. *Patrick J. Sloan*, Principal Planner is here tonight to present the Diagnostic Review which is a combinations of the issues that the community sees and McKenna saw as they reviewed the documents.

*Patrick Sloan*, *McKenna Associates* then reviewed the entire Diagnostic Review of the Peninsula Township Ordinance as submitted by McKenna Associates while accepting questions or comments from both the Township Board and Planning Commission.

**Hoffman** concerned that changes to using more direct language may in some cases alter the intent of the ordinance that previous planners worked carefully on. *Reardon* Intent will still be there but clear language in standards will be necessary

**Peters** would like better definitions on basements and clarification on how building height is measured. Also clarification on definitions of lot and lots of record

*Reardon* asked about two-tiered options such as a rezoning process in creating a new district or looking at additional higher standards of development already identified within the Master plan. Could overlay be used with PDR. **Hoffman** Do overlays take away rights of landowners? *Reardon* Intent is not to take away rights from property owners. More for clarification

**Witkop** Concerned that we do not take back rights once PDR was signed especially since once PDR was signed people can not get out of PDR.

**Hoffman** When there is a Special Use permit on PDR we need to make sure rules can be enforced *Reardon* Need clear standards for enforcement

**Wunsch** Township may need to look at new PDR program that would exclude winery development. Conservation Easements purchased in the 90's and early 2000's did not sever this right.

**Leak** Zoning in this area to promote agricultural potential of the land.

**Witkop** asked for more discussion on Public and Semi-Public Zoning Districts versus essential services.

**Wendling** cautions that local control can be lost when there are Historical Preservation Overlays. **Peters** suggests a Historical Preservation Overlay looking at preserving land rather than architecture.

*Patrick J. Sloan* continued to go over highlights of the Diagnostic Review of the Peninsula Township Zoning Ordinance. The Planning Commission and McKenna Associates will study this information in more detail over the next few months.

#### **Citizen Comments**

None

#### **Board Comments**

**Hoffman** indicated that she would be asking for budget money for the reinstatement of the Township newsletter so that residents are made more aware of meetings such as tonight.

**Peters** would like the Diagnostic Review put on the website and mentioned that the Peninsula Township website needs updating.

Township Board

**MOTION: Avery/Witkop** to adjourn. **PASSED UNAN**

Planning Commission

**MOTION: Hornberger/Wunsch** to adjourn. **PASSED UNAN**

Meeting adjourned at 7:02 p.m.

**PENINSULA TOWNSHIP BOARD  
SPECIAL MEETING  
CONFERENCE ROOM  
February 29, 2016**

Meeting called to order at 9:00 a.m.

**PRESENT:** Hoffman, Weatherholt, Avery, Byron, Rosi and Witkop

Also present: Fire Board members: Sprenger and Park Commissioners: Saunders and Skurski.

**ABSENT:** Correia (excused)

1. Call to order
2. Roll Call  
Motion: Witkop/Avery to appoint Hoffman as chair.
3. Approve Agenda -- Motion: Witkop/Avery to approve.
4. Brief Audience Comments -- for items not on the agenda -- None
5. Conflict of Interest -- None
6. Business

Passed Unan  
Passed Unan

1. Review of 2015 – 2016 Budgets

The Town Board met with Fire Board and Park Commissioners to discuss 2016/2017 fiscal year's budget. The Park Commission mentioned that they may have some large projects throughout this year, such as, landscaping at the lighthouse and removal of the playground structure at Bowers Harbor, and the Bowers Harbor Park addition. At this time they did not have any cost for these items. The TB consensus was not to include any moneys in the budget at this time since the Park Commission did not have a list or cost...however, the TB knows that these projects are something the Commission needs to work on and the two boards will work together for funding of them. Discussion followed on the Bowers Harbor Park (BHP) addition, consensus was that the Parks Commission and Township Board will hold a joint meeting or two and work together to start the planning process for the Park. Saunders will contact Hoffman after April 1<sup>st</sup>, and they will send out a meeting Doodle to both boards to set a date and start the planning. After the initial one or two meetings the Parks Commission will work on the planning.

Discussion followed on the Fire Department budget. The TB felt that there was misinformation in the public regarding the ISO report and intentions of the Fire Board and TB. The TB and Sprenger agreed that the TB and FB have been discussing some of these concerns for quite some time, and felt that there are three main issues that need to be addressed. ALS, Fire Station Improvement, and Staffing, consensus was to form a committee to report back to the TB and FB regarding the three issues, the committee will report back within four to five weeks. The following people volunteered to be on committee Weatherholt, Witkop and Correia, and Sprenger. Sprenger will ask Atkinson to serve as well.

2. March 8, 2016 Presidential Primary Election

Hoffman informed the board that St Joes Parish Hall will be used for Lenten Soup and Salad on Election Day. They apologized for the short notice and have tried to accommodate us for the absent voter counting board but the timing of the event it will not work. Hoffman asked about closing the office at noon on the 8<sup>th</sup> and using the Assessor's office for the counting board. Board consensus was to honor the request.

3. Winter Tax Bill for Bowers Harbor Park Expansion Property

Weatherholt is asking permission to pay the tax bill. Witkop asked if the tax was prorated at the time of the sale for the amount owed. Weatherholt will check on this and report back to the board.

Motion: Avery/Witkop to pay the tax bill of \$ 1,283.50

Roll Call Vote: Avery yes, Weatherholt yes, Hoffman yes, Rosi yes, Byron yes, and Witkop yes.

**Passed Unan**

7. Citizen Comments – Margaret Achron, 11284 Peninsula Dr. commented on the Fire Department. Nancy Heller 3091 Blue Water Rd., commented on the Fire Department and Stations, Peninsula Library being a part of TADL, and the Bay Shore Marathon money. Michelle Reardon commented on The 81 public hearing, and the AT & T tower.

8. Board Comments – Byron asked to have the Safe Boat on the March 15<sup>th</sup> agenda.

Motion: Avery/Witkop to adjourn at 11:56 p.m.

These minutes stand to be approved at the next meeting.

Respectfully Submitted,  
Monica A. Hoffman CMMC/CMC  
Peninsula Township Clerk

Pay Code ID	Distribution	Sup Hours	Reg Hours	Reg Gross	Ot Hours	Ot Gross	Gross	Check Date
10001 - ABBOTT, MARY ANN								
HOURLY	101-253-707.000	0.00	24.50	259.95	0.00	0.00	259.95	02/12/2016
HOURLY	101-253-707.000	0.00	16.50	175.07	0.00	0.00	175.07	02/29/2016
MEETING	101-101-818.000	1.00	0.00	120.00	0.00	0.00	120.00	02/12/2016
MEETING	206-106-818.010	1.00	0.00	120.00	0.00	0.00	120.00	02/12/2016
MEETING	208-751-818.010	1.00	0.00	120.00	0.00	0.00	120.00	02/12/2016
Employee Totals:		3.00	41.00	795.02	0.00	0.00	795.02	
10005 - AKERKEY, SALLY A								
HSA	101-851-712.HSA	1.00	0.00	108.26	0.00	0.00	108.26	02/12/2016
SALARY	S. AKERKEY	0.00	0.00	2,193.10	0.00	0.00	2,193.10	02/12/2016
SALARY	S. AKERKEY	0.00	0.00	2,367.96	0.00	0.00	2,367.96	02/29/2016
SICK/PERS	S. AKERKEY	0.00	6.00	174.86	0.00	0.00	174.86	02/12/2016
Employee Totals:		1.00	6.00	4,844.18	0.00	0.00	4,844.18	
10009 - AVERY, MARY A								
SALARY	M. AVERY	0.00	0.00	1,102.30	0.00	0.00	1,102.30	02/12/2016
SALARY	M. AVERY	0.00	0.00	1,009.09	0.00	0.00	1,009.09	02/29/2016
VAC	M. AVERY	0.00	23.30	443.20	0.00	0.00	443.20	02/12/2016
VAC	M. AVERY	0.00	28.20	536.41	0.00	0.00	536.41	02/29/2016
Employee Totals:		0.00	51.50	3,091.00	0.00	0.00	3,091.00	
10011 - AVERY, MARK D								
SALARY	101-101-702.000	0.00	0.00	218.08	0.00	0.00	218.08	02/12/2016
SALARY	101-101-702.000	0.00	0.00	218.08	0.00	0.00	218.08	02/29/2016
Employee Totals:		0.00	0.00	436.16	0.00	0.00	436.16	
10018 - BALL, MICHAEL B								
STAWK	206-000-706.000	0.00	48.00	636.00	0.00	0.00	636.00	02/12/2016
STAWK	206-000-706.000	0.00	48.00	636.00	0.00	0.00	636.00	02/29/2016
Employee Totals:		0.00	96.00	1,272.00	0.00	0.00	1,272.00	
10020 - BRYAN, MICHAEL G								
STAWK	206-000-706.000	0.00	12.00	159.00	0.00	0.00	159.00	02/12/2016
Employee Totals:		0.00	12.00	159.00	0.00	0.00	159.00	
10026 - BLACKMER, GRANT J								
RUNS	206-000-706.000	2.00	0.00	25.00	0.00	0.00	25.00	02/12/2016
RUNS	206-000-706.000	1.00	0.00	12.50	0.00	0.00	12.50	02/29/2016
STAWK	206-000-706.000	0.00	22.00	275.00	0.00	0.00	275.00	02/12/2016
Employee Totals:		3.00	22.00	275.00	0.00	0.00	275.00	

Employee Hours and Gross by GL Number Report  
For Check Dates 02/01/2016 to 02/29/2016

Pay Code ID	Distribution	Sup Hours	Reg Hours	Reg Gross	Ot Hours	OT Gross	Gross	Check Date
STAWK	206-000-706.000	0.00	54.50	681.25	0.00	0.00	681.25	02/29/2016
Employee Totals:		3.00	76.50	993.75	0.00	0.00	993.75	
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10045 - BYRON, JILL C								
SALARY	101-101-702.000	0.00	0.00	218.08	0.00	0.00	218.08	02/12/2016
SALARY	101-101-702.000	0.00	0.00	218.08	0.00	0.00	218.08	02/29/2016
Employee Totals:		0.00	0.00	436.16	0.00	0.00	436.16	
-----								
10060 - CORREIA, PETER A								
INS	101-171-702.000	0.00	0.00	428.82	0.00	0.00	428.82	02/29/2016
SALARY	101-171-702.000	0.00	0.00	1,898.67	0.00	0.00	1,898.67	02/12/2016
SALARY	101-171-702.000	0.00	0.00	1,898.67	0.00	0.00	1,898.67	02/29/2016
Employee Totals:		0.00	0.00	4,226.16	0.00	0.00	4,226.16	
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10147 - HAMILTON, DEBORAH A								
MEETING	101-101-818.000	1.00	0.00	120.00	0.00	0.00	120.00	02/12/2016
MEETING	101-410-818.010	1.00	0.00	120.00	0.00	0.00	120.00	02/29/2016
MEETING	101-430-818.010	1.00	0.00	120.00	0.00	0.00	120.00	02/12/2016
SALARY	D. HAMILTON	0.00	0.00	1,493.19	0.00	0.00	1,493.19	02/12/2016
SALARY	D. HAMILTON	0.00	0.00	1,516.97	0.00	0.00	1,516.97	02/29/2016
SICK/PERS	D. HAMILTON	0.00	2.75	52.31	0.00	0.00	52.31	02/12/2016
VAC	D. HAMILTON	0.00	1.50	28.53	0.00	0.00	28.53	02/29/2016
Employee Totals:		3.00	4.25	3,451.00	0.00	0.00	3,451.00	
-----								
10148 - HAINES, NICHOLAS								
OT	206-000-704.000	0.00	0.00	0.00	4.00	32.92	32.92	02/29/2016
STAWK	206-000-704.000	0.00	96.00	1,579.20	0.00	0.00	1,579.20	02/12/2016
STAWK	206-000-704.000	0.00	115.00	1,891.75	0.00	0.00	1,891.75	02/29/2016
VAC	206-000-704.000	0.00	13.00	213.85	0.00	0.00	213.85	02/29/2016
Employee Totals:		0.00	224.00	3,684.80	4.00	32.92	3,717.72	
-----								
10165 - HOFFMAN, MONICA A								
SALARY	101-215-702.000	0.00	0.00	1,898.67	0.00	0.00	1,898.67	02/12/2016
SALARY	101-215-702.000	0.00	0.00	1,898.67	0.00	0.00	1,898.67	02/29/2016
Employee Totals:		0.00	0.00	3,797.34	0.00	0.00	3,797.34	
-----								
10191 - INNES, SHAWN								
RUNS	206-000-706.000	1.00	0.00	12.25	0.00	0.00	12.25	02/29/2016
Employee Totals:		1.00	0.00	12.25	0.00	0.00	12.25	

Employee Hours and Gross by GL Number Report  
For Check Dates 02/01/2016 to 02/29/2016

Pay Code ID	Distribution	Sup Hours	Reg Hours	Reg Gross	Ot Hours	OT Gross	Gross	Check Date
-----								
10263 - LIPE, CODY E								
STAWK	206-000-706.000	0.00	48.00	636.00	0.00	0.00	636.00	02/12/2016
STAWK	206-000-706.000	0.00	49.50	655.88	0.00	0.00	655.88	02/29/2016
	Employee Totals:	0.00	97.50	1,291.88	0.00	0.00	1,291.88	
-----								
10270 - MERRILL, LEONARD M								
STAWK	206-000-707.000	0.00	19.00	251.75	0.00	0.00	251.75	02/12/2016
	Employee Totals:	0.00	19.00	251.75	0.00	0.00	251.75	
-----								
10316 - PIEHL, SUSAN L								
HOURLY	101-173-704.000	0.00	61.00	1,126.67	0.00	0.00	1,126.67	02/12/2016
HOURLY	101-173-704.000	0.00	52.25	965.06	0.00	0.00	965.06	02/29/2016
	Employee Totals:	0.00	113.25	2,091.73	0.00	0.00	2,091.73	
-----								
10317 - REAMER, CORY J								
RUNS	206-000-706.000	1.50	0.00	18.38	0.00	0.00	18.38	02/12/2016
RUNS	206-000-706.000	7.00	0.00	85.75	0.00	0.00	85.75	02/29/2016
	Employee Totals:	8.50	0.00	104.13	0.00	0.00	104.13	
-----								
10321 - RITTENHOUSE, RANDY J								
OT	206-000-704.000	0.00	0.00	0.00	28.00	230.44	230.44	02/29/2016
STAWK	206-000-704.000	0.00	120.00	1,974.00	0.00	0.00	1,974.00	02/12/2016
STAWK	206-000-704.000	0.00	128.00	2,105.60	0.00	0.00	2,105.60	02/29/2016
	Employee Totals:	0.00	248.00	4,079.60	28.00	230.44	4,310.04	
-----								
10322 - RONK, STEVEN F								
SALARY	206-000-704.000	0.00	0.00	2,943.63	0.00	0.00	2,943.63	02/12/2016
SALARY	206-000-704.000	0.00	0.00	1,103.76	0.00	0.00	1,103.76	02/29/2016
STCK/PERS	206-000-704.000	0.00	4.00	157.68	0.00	0.00	157.68	02/12/2016
VAC	206-000-704.000	0.00	8.00	315.36	0.00	0.00	315.36	02/12/2016
VAC	206-000-704.000	0.00	12.00	473.04	0.00	0.00	473.04	02/29/2016
	Employee Totals:	0.00	24.00	4,993.47	0.00	0.00	4,993.47	
-----								
10326 - ROSI, PENELOPE S								
SALARY	101-101-702.000	0.00	0.00	218.08	0.00	0.00	218.08	02/12/2016
SALARY	101-101-702.000	0.00	0.00	218.08	0.00	0.00	218.08	02/29/2016
	Employee Totals:	0.00	0.00	436.16	0.00	0.00	436.16	

Employee Hours and Gross by GI Number Report  
For Check Dates 02/01/2016 to 02/29/2016

Pay Code ID	Distribution	Sup Hours	Reg Hours	Reg Gross	Ot Hours	OT Gross	Gross	Check Date
10329 - SARBBER, KYLE C								
RUNS	206-000-706.000	3.00	0.00	39.75	0.00	0.00	39.75	02/29/2016
STAWK	206-000-706.000	0.00	60.00	795.00	0.00	0.00	795.00	02/12/2016
STAWK	206-000-706.000	0.00	48.00	636.00	0.00	0.00	636.00	02/29/2016
Employee Totals:		3.00	108.00	1,470.75	0.00	0.00	1,470.75	
10331 - SCHULTZ, GINGER M								
HOURLY	508-000-707.000	0.00	41.50	664.00	0.00	0.00	664.00	02/12/2016
HOURLY	508-000-707.000	0.00	39.00	624.00	0.00	0.00	624.00	02/29/2016
Employee Totals:		0.00	80.50	1,288.00	0.00	0.00	1,288.00	
10332 - SCHOOLMASTER, CLAIRE E								
MEETING	101-420-702.000	1.00	0.00	50.00	0.00	0.00	50.00	02/29/2016
SALARY	101-420-702.000	0.00	0.00	1,458.33	0.00	0.00	1,458.33	02/12/2016
SALARY	101-420-702.000	0.00	0.00	1,422.43	0.00	0.00	1,422.43	02/29/2016
SICK/PERS	101-420-702.000	0.00	2.00	35.90	0.00	0.00	35.90	02/29/2016
Employee Totals:		1.00	2.00	2,966.66	0.00	0.00	2,966.66	
10334 - REARDON, MICHELLE L								
MEETING	101-400-703.000	2.00	0.00	120.00	0.00	0.00	120.00	02/29/2016
SALARY	101-400-702.000	0.00	0.00	1,849.30	0.00	0.00	1,849.30	02/12/2016
SALARY	101-400-702.000	0.00	0.00	2,228.50	0.00	0.00	2,228.50	02/29/2016
SICK/PERS	101-400-702.000	0.00	2.50	70.75	0.00	0.00	70.75	02/29/2016
VAC	101-400-702.000	0.00	15.90	449.95	0.00	0.00	449.95	02/12/2016
Employee Totals:		2.00	18.40	4,718.50	0.00	0.00	4,718.50	
10373 - STROM, BRENT J								
STAWK	206-000-704.000	0.00	120.00	1,974.00	0.00	0.00	1,974.00	02/12/2016
STAWK	206-000-704.000	0.00	104.00	1,710.80	0.00	0.00	1,710.80	02/29/2016
Employee Totals:		0.00	224.00	3,684.80	0.00	0.00	3,684.80	
10374 - STROM, RYAN J								
STAWK	206-000-706.000	0.00	12.00	159.00	0.00	0.00	159.00	02/12/2016
STAWK	206-000-706.000	0.00	12.00	159.00	0.00	0.00	159.00	02/29/2016
Employee Totals:		0.00	24.00	318.00	0.00	0.00	318.00	
10412 - VANDERMEY, THOMAS J								
RUNS	206-000-706.000	3.00	0.00	37.50	0.00	0.00	37.50	02/29/2016
STAWK	206-000-706.000	0.00	1.00	12.50	0.00	0.00	12.50	02/29/2016

Pay Code ID	Distribution	Sup Hours	Reg Hours	Reg Gross	Ot Hours	OT Gross	Gross	Check Date
-----								
10417	- VANDER ROEST, LANDON C							
	STAWK 206-000-706.000	0.00	62.00	821.50	0.00	0.00	821.50	02/12/2016
	STAWK 206-000-706.000	0.00	13.00	172.25	0.00	0.00	172.25	02/29/2016
	Employee Totals:	3.00	1.00	50.00	0.00	0.00	50.00	
-----								
10428	- WALTERS, KATHRYN N							
	.STAWK 206-000-706.000	0.00	48.00	636.00	0.00	0.00	636.00	02/12/2016
	STAWK 206-000-706.000	0.00	51.00	675.75	0.00	0.00	675.75	02/29/2016
	Employee Totals:	0.00	99.00	1,311.75	0.00	0.00	1,311.75	
-----								
10429	- WALTERS, CURTIS J.							
	STAWK 206-000-706.000	0.00	24.00	318.00	0.00	0.00	318.00	02/29/2016
	Employee Totals:	0.00	24.00	318.00	0.00	0.00	318.00	
-----								
10430	- WEATHERHOLT, DAVID K							
	SALARY 101-253-702.000	0.00	0.00	1,791.67	0.00	0.00	1,791.67	02/12/2016
	SALARY 101-253-702.000	0.00	0.00	1,791.67	0.00	0.00	1,791.67	02/29/2016
	Employee Totals:	0.00	0.00	3,583.34	0.00	0.00	3,583.34	
-----								
10439	- WITKOP, WENDY L							
	SALARY 101-101-702.000	0.00	0.00	218.08	0.00	0.00	218.08	02/12/2016
	SALARY 101-101-702.000	0.00	0.00	218.08	0.00	0.00	218.08	02/29/2016
	Employee Totals:	0.00	0.00	436.16	0.00	0.00	436.16	
-----								
	Grand Totals:	28.50	1,668.90	61,587.25	32.00	263.36	61,850.61	

## Monica Hoffman

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**From:** rsds.beautifulshores@charter.net  
**Sent:** Wednesday, February 17, 2016 6:14 PM  
**To:** 'clerk@peninsulatownship.com'  
**Cc:** 'pattyk737@yahoo.com'  
**Subject:** FW: OMWC Garage Sale Signs

Hi Monica,

I completely forgot about the sign Judy Arnold had made for the last garage sale. It hangs on the posts at the Fire Station near the base of the peninsula (similar in size to the OMWC Christmas Cookie Sale Sign).

We would also like permission to put that sign up too.

Thanks -- Diane and Pat

-----  
From: rsds.beautifulshores@charter.net  
To: "clerk@peninsulatownship.com"  
Cc: "pattyk737@yahoo.com"  
Sent: Wed, 17 Feb 2016 16:04:45 -0700  
Subject: OMWC Garage Sale Signs

Hi Monica,

On behalf of the Old Mission Women's Club, I am, by this email, asking for permission from the Township to put up signs for our garage sale this spring.

The date of the garage sale is Friday, May 13 and Saturday, May 14. We would like to put the signs up no earlier than late afternoon/early evening Thursday, May 12 - taking them down late afternoon/early evening Saturday, May 14.

There will be approximately 8 "election" size directional signs placed on the peninsula. We would also like to use the "Charlie Doe" sign on Center Road.

The "election" signs would appear, probably, at the following locations:

--1 sign at the corner of Swaney and Mission Road

--1 sign at the corner of Swaney and Center Road

--1 sign at the corner of Mission and Old Mission Road

--1 sign at the corner of Old Mission and Center Road

--1 sign near the Peninsula Market on Center Road

-- 1 sign near the base of the peninsula at the intersection of Peninsula and Center

--1 sign near Peninsula Cellars

--and, possibly an additional strategic location or two.

Since it's such a long trek from the base of the peninsula to the American Legion Post in Old Mission we think it would be beneficial to have a few more "directional" signs for this year's sale vs. the previous year's sale.

Thank you for your help in this matter. If you have any questions you may contact me at 231-223-4862 and if I'm not available, Pat Kitchen at 231-223-9428.

Thanks Again,

Diane Shaffer and Pat Kitchen

3974 Swaney Road  
Traverse City, MI 39686  
February 23, 2016

Peninsula Township Board  
Peninsula Township  
18235 Center Road  
Traverse City, MI 49686

Dear Township Board Members:

The Job Winslow Chapter of National Society of Daughters of the American Revolution (NSDAR) is sponsoring a garage sale on Friday, June 3, 2016 -- Saturday, June 4, 2016 at Fire Station No. 2.

This correspondence is a request to allow signage to promote the event as follows.

- 1) Up to 20 direction/informational signs strategically located along Peninsulaa roda and the fire station. Signs to be placed before the event and removed shortly after.
- 2) A sign to be placed at Fire Station No. 2, ideally using the the existing pole frame. The sign to be placed approximately a week before the event and removed shortly after.
- 3) An announcement placed on Charlie Doe's sign.

Thank you for your consideration of this request.

Sincerely,



Jacquelyn Thomas, Director

Job Winslow Chapter NSDAR

**PENINSULA TOWNSHIP  
FISCAL 2016-2017 REGULAR MEETING DATES**

	April	May	June	July	Aug.	Sept.	Oct.	Nov.	Dec.	Jan.	Feb.	March
<b>Town Board</b>	12 <sup>th</sup>	10 <sup>th</sup>	14 <sup>th</sup>	12 <sup>th</sup>	9 <sup>th</sup>	13 <sup>th</sup>	11 <sup>th</sup>	*15 <sup>th</sup>	13 <sup>th</sup>	10 <sup>th</sup>	14 <sup>th</sup>	14 <sup>th</sup>
<b>Town Board**</b>	25 <sup>th</sup>	23 <sup>rd</sup>	27 <sup>th</sup>	25 <sup>th</sup>	22 <sup>nd</sup>	26 <sup>th</sup>	24 <sup>th</sup>	28 <sup>th</sup>	Holiday	23 <sup>rd</sup>	27 <sup>th</sup>	27 <sup>th</sup>
<b>P.C.</b>	18 <sup>th</sup>	16 <sup>th</sup>	20 <sup>th</sup>	18 <sup>th</sup>	15 <sup>th</sup>	19 <sup>th</sup>	17 <sup>th</sup>	21 <sup>st</sup>	19 <sup>th</sup>	*23 <sup>rd</sup>	*27 <sup>th</sup>	20 <sup>th</sup>
<b>Z.B.A.</b>	14 <sup>th</sup>	12 <sup>th</sup>	9 <sup>th</sup>	14 <sup>th</sup>	11 <sup>th</sup>	8 <sup>th</sup>	13 <sup>th</sup>	10 <sup>th</sup>	8 <sup>th</sup>	12 <sup>th</sup>	9 <sup>th</sup>	9 <sup>th</sup>
<b>Park Commission</b>	6 <sup>th</sup>	4 <sup>th</sup>	1 <sup>st</sup>	6 <sup>th</sup>	3 <sup>rd</sup>	7 <sup>th</sup>	5 <sup>th</sup>	2 <sup>nd</sup>	7 <sup>th</sup>	4 <sup>th</sup>	1 <sup>st</sup>	1 <sup>st</sup>
<b>Fire Board</b>	4 <sup>th</sup>	2 <sup>nd</sup>	6 <sup>th</sup>	*11 <sup>th</sup>	1 <sup>st</sup>	*12 <sup>th</sup>	3 <sup>rd</sup>	7 <sup>th</sup>	5 <sup>th</sup>	2 <sup>nd</sup>	6 <sup>th</sup>	6 <sup>th</sup>

All meetings are held at the Town Hall at 7:00 pm unless otherwise posted. Note: All meeting dates are tentative.

\* Meeting changed from originally scheduled date.

\*\* Meetings to be held at 9:00 a.m. in the Conference Room.

\_\_\_\_\_  
Monica A. Hoffman  
Clerk

Posted: March 31, 2016

To: Peninsula Township Clerk

From: Michelle Reardon, Planning & Zoning Department

Re: Bloomer Storm Water Permit Fee Refund  
4242 Rocky Shore Tr., Traverse City, MI 49686  
Parcel ID: 28-11-111-021-50

Date: March 1, 2016

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Please issue a refund in the amount of \$850.00 to:

Thomas & Rosanne Bloomer  
3100 W. Northfield Church Rd.  
Ann Arbor, MI 48105

This amount is the unused balance of the storm water permit fee. Feel free to contact me should you have any questions.

Thank you.

# PENINSULA TOWNSHIP

13235 Center Road, Traverse City MI 49686  
Ph: 231.223.7322 Fax: 231.223.7117

[www.peninsulatownship.com](http://www.peninsulatownship.com)

March 1, 2016

Stan Jaroh  
15526 Center Rd.  
Traverse City, MI 49686

RE: Refund of storm water permit fee  
4242 Rocky Shore Trail, Traverse City, MI 49686  
Parcel ID #28-11-111-021-50

Dear Mr. & Mrs. Bloomer,

Enclosed you will find a refund check in the amount of \$850; this amount is the unused portion of your submitted storm water permit fee.

Feel free to contact this office should you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read "Michelle Reardon", with a large, stylized flourish extending to the right.

Michelle Reardon  
Director of Planning & Zoning

## Monica Hoffman

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**From:** Maura Sanders <maura.a.sanders@gmail.com>  
**Sent:** Wednesday, March 09, 2016 5:43 PM  
**To:** Monica Hoffman  
**Subject:** Peninsula Township and the Chamber of Commerce

Monica,

If you could please add the following to the next Town Board agenda:

The Park Commission is requesting, on behalf of all of the Township Commissions, membership to the Traverse City Chamber of Commerce. The membership at the Peninsula Township level will include all of the local government entities underneath the Peninsula Township body.

The membership information can be found here: <http://tcchamber.org/members/join-the-chamber/network-level-membership/>

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Sincerely,

**Maura A. Sanders**

**1. Sponsor Information**

Sponsor: Daniel Siderman, Race Director on behalf of Traverse City Track Club

Sponsor Address PO Box 4026  
& Contact Information: Traverse City, Michigan 49685  
Ph. (231) 492-6023

**2. Event Description-**

**2.1 Type of Event-** The event will consist of a marathon, half-marathon and a 10K road race.

**2.2 Location-** The half-marathon race will begin at the Bowers Harbor expansion site on Devils Dive Rd. The races will utilize various county and state roads in the Township. Please see the enclosed course map for detailed route information.

The marathon will begin in the City at Central High School and travel north and south on East Shore Rd. Center Rd. and Bluff Rd. The 10K will also begin at the high school and travel north and south along East Shore Rd. to McKinley.

The sponsor is requesting the closure of a portion of Center Rd. (M-37), McKinley to Island View, and Gray Rd. as part of this event.

**2.3 Date and Time-** The races will occur on Saturday, May 28, 2016 beginning at 7:30 AM and concluding by 1:15 PM.

**2.4 Notification to Township Residents-** The applicant has provided information to be included on the two (2) required notices to residents within 300 feet of the event. The information as proposed is in compliance with the standards of the ordinance. The first postcard was mailed on Monday, February 29, 2016 as required. Per the ordinance the second postcard will be mailed between April 28 and May 13, 2016 should the event be approved by the Township.

**2.5 Signage-** The submitted application includes a signage plan and renderings of proposed signage for the event. The applicant has worked with the Michigan Department of Transportation and the signage is intentionally cohesive in design.

**(a) That the sponsor can legally apply for an event permit.**

The sponsor is seeking permission from the Peninsula Township Board for the use of the future Bowers Harbor expansion site. Based on this permission being obtained, the sponsor is able to apply for an event permit.

**(b) That the event meets the requirements of Peninsula Township for fire and police protection, water supply, sewage disposal or treatment, storm drainage and other public facilities and services.**

The sponsor has been working with Peninsula Fire Department, Northflight, Grand Traverse County Emergency Management Department and the County Sheriff's office for multiple years to ensure the safety of participants and residents alike. The staffing levels are determined by a consensus of these parties and paid for by the sponsor of the event.

There are a total of eleven (11) identified locations along the course route for the placement of porta-johns. Additionally the sponsor has indicated there will be seventy-five (75) porta-john units placed at the start of the half-marathon (Bowers Harbor expansion site). These temporary structures will be removed from the site(s) by 1:15 PM, Saturday, May 23, 2015. This placement and removal plan will ensure the responsible disposal of all sewage waste by the sponsor.

The site plan indicates the placement of nine (9) aid stations along the course route. Water and other necessary items will be provided at these stations.

There is no anticipated impact on storm drainage.

Center Rd. will be closed from McKinley to Island View Road. The Grand Traverse County Sheriff Department and event sponsor volunteers will be present at key intersections along the race course to manage participant/vehicle interactions throughout the day.

**(c) That the event meets the standards of all other governmental agencies where applicable, and the approval of these agencies has been obtained or is assured.**

The sponsor is seeking permission from the Peninsula Township Board and the County Road Commission. Should the event be approved as proposed, the application for the Center Road closure will be submitted by Planning & Zoning staff to the Michigan Department of Transportation. No other governmental agency permissions are required.

**(d) That the parking layout will not adversely affect the flow of traffic within the site, or to and from the adjacent streets.**

The parking area for volunteers/participants at the start of the half marathon is located on the southern boundary of the Bowers Harbor expansion area and will accommodate three-hundred vehicles. There is a single point of access from Devils Dive Rd. This single point should allow for the sponsor to easily direct traffic both onto and off the site as well as on-site circulation.

necessary emergency responders will be secured by a contract and paid for by the sponsor. The event will occur in late May over the Memorial Day Holiday weekend. There are no other annual events requested at this time of year.

**In addition, the Township Board shall find adequate evidence that each event will:**

**(i) Not be hazardous to existing uses in the same general vicinity.**

The participants will be running during the event. This activity does not pose a threat to existing uses in the vicinity. Emergency responders will be on hand to address any hazardous situation that may arise.

**(ii) Be served adequately by essential facilities and services such as highways, streets, police, fire protection, drainage structures, refuse disposal, and water and sewage facilities.**

The proposed event will be accessed by and conducted on public roads. The sponsor will contact with the necessary emergency services and will provide the necessary refuse, water and sewage facilities.

**(iii) Not create additional requirements at public cost for public facilities and services.**

The sponsor will cover the costs for all additional services (i.e. waste disposal, fire and police) through contractual services.

## Peninsula Township Large Event Permit Application

**Proposed Event:** Traverse City Track Club Bayshore Marathon, Half Marathon, & 10K

**#1 Sponsor of proposed event:**

Traverse City Track Club  
PO Box 4026  
Traverse City, MI 49685

Daniel Sideman-Race Director 492-6023

**#2 If event is to be held on private property: name, address, & phone number of owner/lessee.**

N/A – event will not be held on any private properties.  
We are currently seeking permission to use the Peninsula Township land on Devil’s Dive road.

**#3 Dates and estimated hours of event**

May 28, 2015  
7:15am to 1:15pm

**#4 Description of the kind, character and type of the event proposed**

Road Race

**#5 Address or location of the site(s) at which the event will be held, including a statement of any property owners with their consent to use their property.**

This event is held on public roads. The Half Marathon start will be staged at the property on Devil’s Dive Rd, per Peninsula Township request.

-course map attached

**#6 Estimate of maximum amount of people expected to attend the proposed event.**

7,250 possible participants. Historically there is a 25% no show rate for the 10K and marathon, with a 13% no show rate for the half marathon. Last year, we had 2,750 people register for the full marathon...with only 1,795 people actually showing up and finishing the event. In the Half Marathon we had 2,700 registrants, with only 2,320 actual participants. In the 10K we had 1,800 registrants, with 1,408 actual participants. So in 2014 we had 5,523 actual participants. We also have close to 1,200 volunteers or workers. Note that not all these volunteers/workers will be in Peninsula Township. There are a number of volunteers/workers at our finish area and along the first 2 miles of the course, which is outside of the Peninsula Township.

**#8 Rendering of all signage proposed as part of the event:**

The signs below will be in place on the side of the road on Friday. Signs will be set up early Saturday morning. As the event passes these signs by, they will be taken down and placed on the side of the road throughout the day on Saturday. All signs will then be picked up by Give em' a Brake on Tuesday.

Signs from Give em' a Brake:



2 Road Closed Ahead 48" x 48"

- On Center Rd between Bluewater and Island View facing North
- On Center Rd before McKinley facing South



2 Detour Ahead 48" x 48"

- On Center Rd between Bluewater and Island View facing North
- On Center Rd before McKinley facing South



2 Road Closed 48" x 30"

- On Center Rd and Island View facing North
- On Center Rd before McKinley facing South



2 Road Closed to Thru Traffic 60" x 30"

- Center Rd and Gray Rd facing East
- Wilson facing East



6 M4-9 Detour Arrow signs 30" x 24"

- Right Arrow on Peninsula Drive and Island View facing South
- Left Arrow on Island View and Peninsula Drive facing East
- Two-sided Straight Arrow before Gray Rd facing South and North

8 deputies and 5 Reserve deputies

Deputy-Center and Kroupa Road from 7:15am to 8:15am to prevent SB Center Rd traffic/re-route down Kroupa to Peninsula Drive; then Bluff Road from 8:15 to 1:30pm to monitor and assist local traffic as necessary.

Deputy-Center and Blue Water Road from 7:15am to 8:15am to prevent SB Center Rd traffic/direct traffic NB to Kroupa Road; then East Shore Road from 8:15am to 1:30pm to monitor and assist local traffic as necessary.

Deputy-Center and Blue Water Road from 7:15am to 8:15am to prevent NB Center Rd traffic/hold traffic or send SB to Island View Rd; then Center Road between Bluff and East Shore from 8:15am to 1:30pm to monitor and assist local traffic as necessary.

Deputy- Center and McKinley Road from 7am to TBD to prevent NB Center Rd traffic/send WB McKinley to Peninsula Dr for NB thru traffic.

Deputy- Center and Gray Road from 7am to TBD to monitor traffic and crowd control.

Reserve Deputy-Seven Hills and Bowers Harbor Rd from 7:15am to 8am, then Center and Island View from 8am to TBD

Reserve Deputy-Devils Dive and Seven Hills Road from 7:15am to 8:15am, then Boursaw and Bluff Road from 8:15am to TBD

Reserve Deputy-Center and East Shore Road from 7am to TBD

Reserve Deputy-Center and Wilson Road from 7am to TBD

Reserve Deputy-McKinley and East Shore Road from 7am to TBD

**B: Medical facilities and services; including emergency vehicles and equipment**

TCTC contracts with Northflight and Peninsula Township emergency services. TCTC also works with the Emergency Management Supervisor.

**Northflight:**

Two fully staffed & equipped ALS unit

Two bike medic teams

Two Paramedics at Medical Tent

**TCTC Fire Department:**

One ALS standby

Two TCFD Paramedics with TCFD Rescue

**Peninsula Township Emergency Services**

Medical Standby

They are typically located at the end of East Shore, by McKinley or the boat launch at Center and East Shore

There is also a mass causality unit typically located at Peninsula Fire

**C: Food & water supply facilities**

TCTC provides water at the Half Marathon start and at aid stations throughout the course. There are a total of 9 aid stations along the course. The aid station locations are at the following mile marks from the marathon/10K start at the college:

1 East Bay Park

The TCTC pulls a permit to close Gray Road from Peninsula Drive to Center Road from 7am to 1pm. The Peninsula Township pulls a permit to close Center Road (M-37), from McKinley to Island View from 6am to 1pm. On the advice of the Peninsula Township Board and Emergency workers, we have pulled permits to officially close any other roads.

**I: Insurance or bonding arrangements**

A copy of additional insured liability insurance certificate is provided at time of the event.

**J: List of names and addresses of all persons to whom the public notification will be sent**

What we like to do is a “blanket mailing.” Our goal is to reach not only those along the course route, but those that may be affected by our event that morning as well. The mailing goes out to the residents and businesses with the 5 postal routes listed below. This mailing (according to the USPS website) will reach 2,307 doors. We use Progress Printers to do our mailing. I give them postal routes, they obtain the information needed from the USPS (which changes monthly) and we mail to the routes listed below. I have attached a map showing the areas of the 5 postal routes we mail to.

R006 468 residents; 10 businesses

R019 415 residents; 12 businesses

C007 383 residents; 1 business

C022 426 residents; 39 businesses

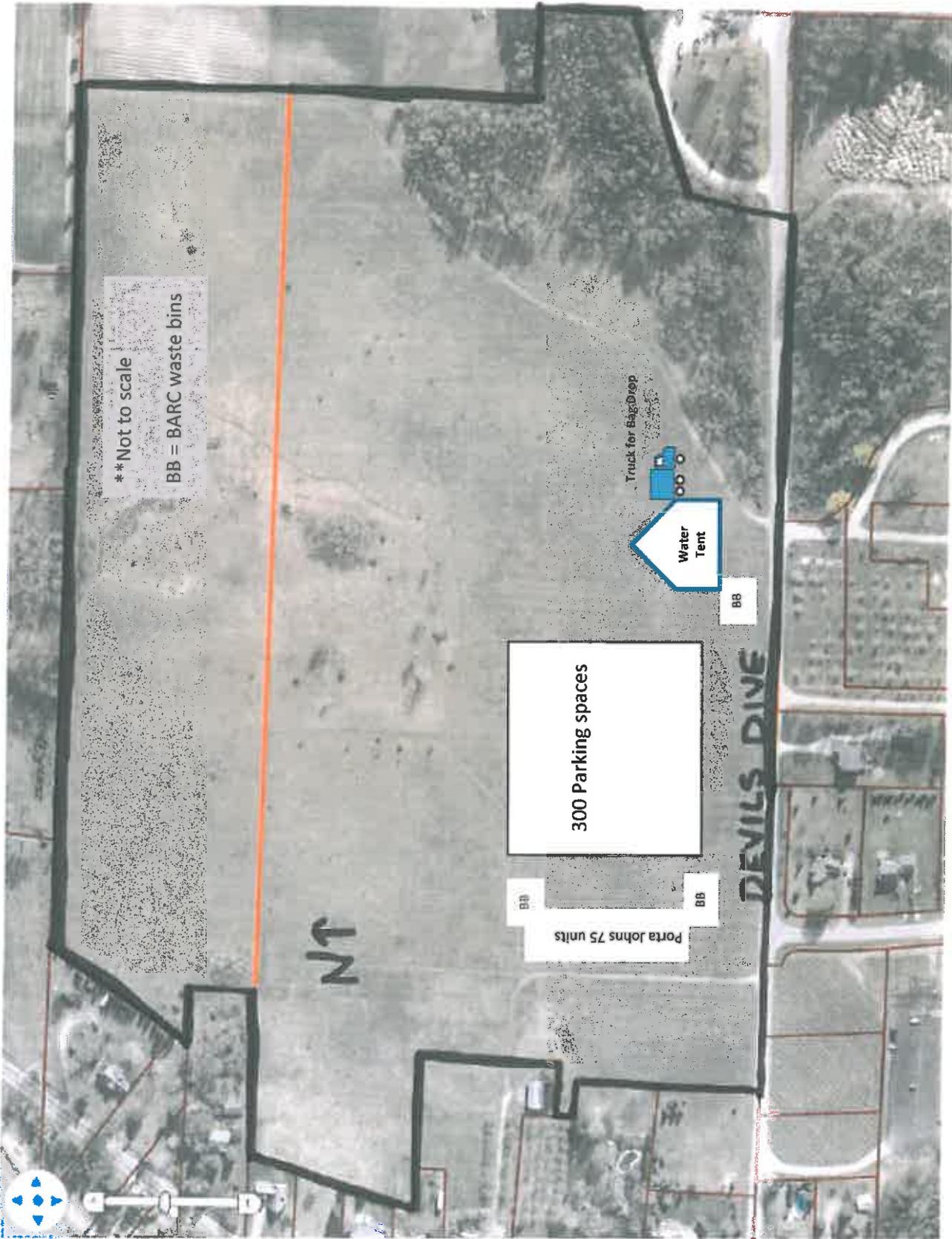
R026 547 residents; 6 businesses

**#10 Site plan illustrating uses as part of proposed event**

See course map on event website: [www.bayshoremарathon.org](http://www.bayshoremарathon.org)

I’ve attached a proposed layout for the start of the Half Marathon located on Devils Dive Rd (attachment not to scale):

BB – Bay Area Recycling Company (Bins)



\*\* Not to scale  
BB = BARC waste bins

300 Parking spaces

Porta Johns 75 units

Truck for Bag Drop

Water Tent

DEVILS DIVE

NT





# TRAVERSE CITY TRACK CLUB BAYSHORE MARATHON

- Full Marathon 
- Half Marathon 
- 10 K 
- Spectator Route 
- Viewing Area 
- Portable Toilets 

## Aid Stations

- 1 - water and sports drink
- 2 - water and sports drink
- 3.6 - water, sports drink, GU, and GU Chomps
- 4.6 - water and sports drink
- 6.7 - water, sports drink, and GU
- 7.9 - water and sports drink
- 9.5 - water, sports drink, and GU
- 10.9 - water and sports drink
- 12.9 - water, sports drink, GU, and GU Chomps

Center Rd will be closed from McKinley to Island View



**PENINSULA TOWNSHIP  
RESOLUTION DECLINING RESPONSIBILITY FOR OPERATION  
AND MAINTENANCE OF SEWERAGE SYSTEM FOR THE 81 DEVELOPMENT PUD**

**Resolution No. \_\_\_\_ of 2016**

At a regular meeting of the Peninsula Township Board, Grand Traverse County, Michigan held in the Peninsula Township Hall, located in Peninsula Township, Michigan on March 15, 2016.

**PRESENT:** \_\_\_\_\_

**ABSENT:** \_\_\_\_\_

The following resolution was made by \_\_\_\_\_ and seconded by \_\_\_\_\_, to-wit:

**Recitals**

WHEREAS, under State law a developer of a subdivision, site condominium or other development utilizing a common waste water disposal system must submit to the MDEQ an application for a Part 41 waste water disposal; and

WHEREAS, part of the application requires a resolution and letter on the part of the Township to either accept or decline responsibility for this system in the event that the permittee fails to maintain the system consistent with MCL 324.3109(3).

**Resolution**

NOW, THEREFORE, BE IT RESOLVED that:

The Peninsula Township Board hereby declines to accept any responsibility for the system being installed on property located at 15634 Smokey Hollow Road and 15636 Bluff Road totaling 82.62 acres and having tax id numbers of 28-11-114-001-00 and 28-11-114-002-00, respectively (hereinafter "The Property").

BE IT FURTHER RESOLVED that:

The Peninsula Township Board authorizes a letter to be issued on Peninsula Township letterhead and signed by the Township Supervisor and the Township Clerk stating that it is the intent of Peninsula Township by and through its board not to accept such responsibility for any community or singular waste water system on the property

and that such letter is required on the part of the owner of The 81, being The 81 Development Co., LLC with respect to its application to the MDEQ for a Part 41 waste water disposal system of the Natural Resources and Environmental Protection Act (NREPA), MCL 324.4101 *et seq.*

This Resolution shall become effective on the date it is adopted.

YES: \_\_\_\_\_

NO: \_\_\_\_\_

**RESOLUTION DECLARED ADOPTED.**

**PENINSULA TOWNSHIP**

By: \_\_\_\_\_  
Pete Correia, Supervisor

I, the undersigned, the Clerk of the Township of Peninsula, Grand Traverse County, Michigan, do hereby certify that the foregoing is a true and complete copy of certain proceedings taken by said municipality at its regular meeting held on March 15, 2016, relative to adoption of the resolution therein set forth; that said meeting was conducted and public notice of said meeting was given pursuant to and in full compliance with the Open Meetings Act, being Act 267, Public Acts of Michigan, 1976, and that the minutes of said meeting were kept and will be or have been made available as required by said Act.

Dated: March 15, 2016

\_\_\_\_\_  
Monica A. Hoffman, Clerk

**Peninsula Township**  
**13235 Center Road**  
**Traverse City MI 49686**

To whom it may concern:

Please be advised that at a meeting held on March 15, 2016 at the Peninsula Township Hall in Peninsula Township, Grand Traverse County, Michigan, located at 13235 Center Road, Traverse City, Michigan 49686, that the Peninsula Township Board passed a resolution to not assume any responsibility for the operation and maintenance for an onsite sewerage system as defined and regulated under Part 41, *Sewerage Systems*, under the Natural Resources and Environmental Protection Act (NREPA), MCL 324.4101 *et seq.* in accordance with Section 3109 of Part 31, Water Resources Protection, of the NREPA, MCL 324.3101 *et seq.* for a certain condominium subdivision and planned unit development in Peninsula Township on property located at 15634 Smokey Hollow Road and 15636 Bluff Road totaling 82.63 acres to be constructed and operated by The 81 Development Co., LLC and The 81 on East Bay Property Owners Association, Inc. The reason for the declination is that it is not Peninsula Township's intent to assume any liability fo the operation and maintenance of the proposed sewerage system.

---

By: Pete Correia, Supervisor  
Peninsula Township

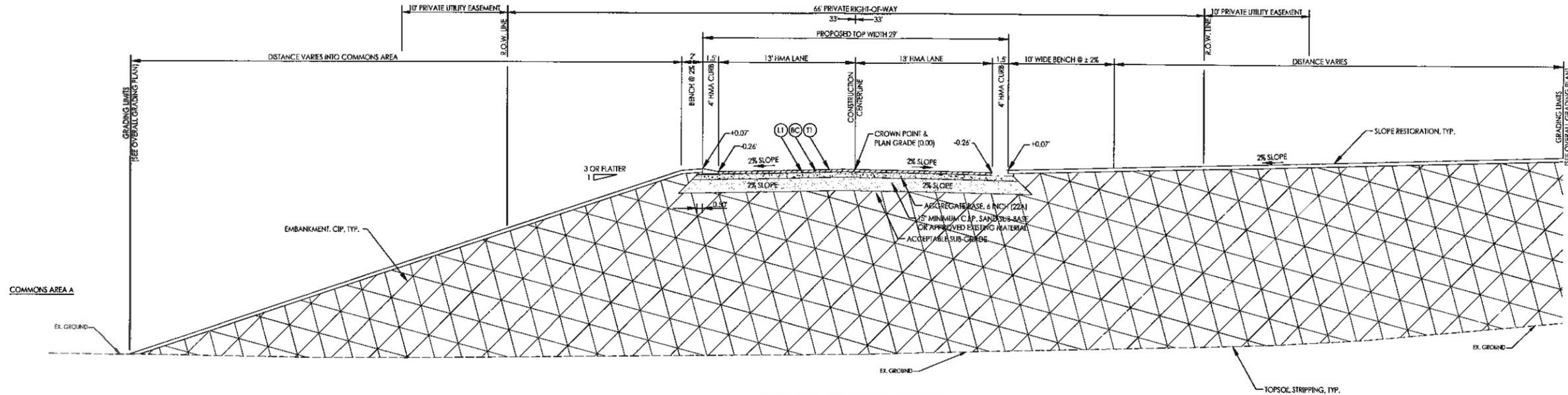
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By: Monica Hoffman, Clerk  
Peninsula Township

Dated: \_\_\_\_\_





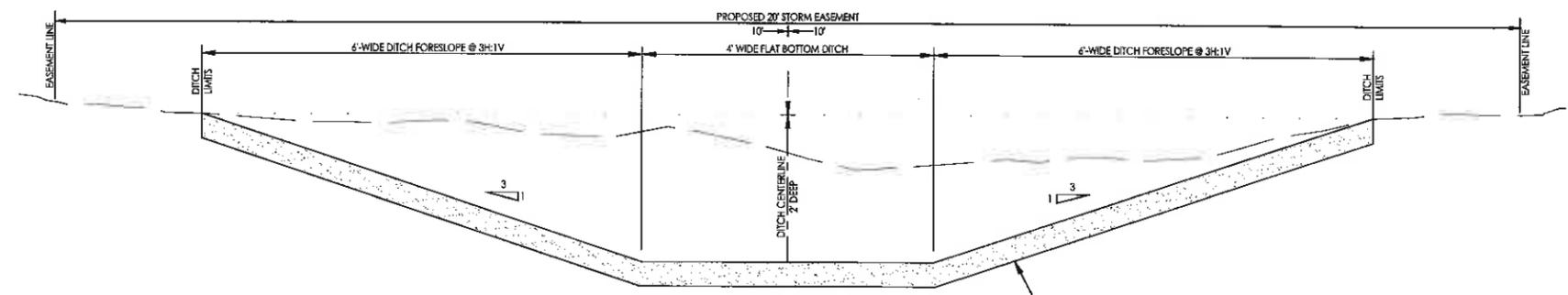


PROPOSED 29' TYPICAL SECTION

TYPICAL TO APPLY:  
81 AVE. P.O.B. (BOURSAW RD) TO CUL-DE-SAC  
(SEE PLAN SHEETS FOR VARIANCES, TAPERS, ETC.)  
SCALE: 1"=5'

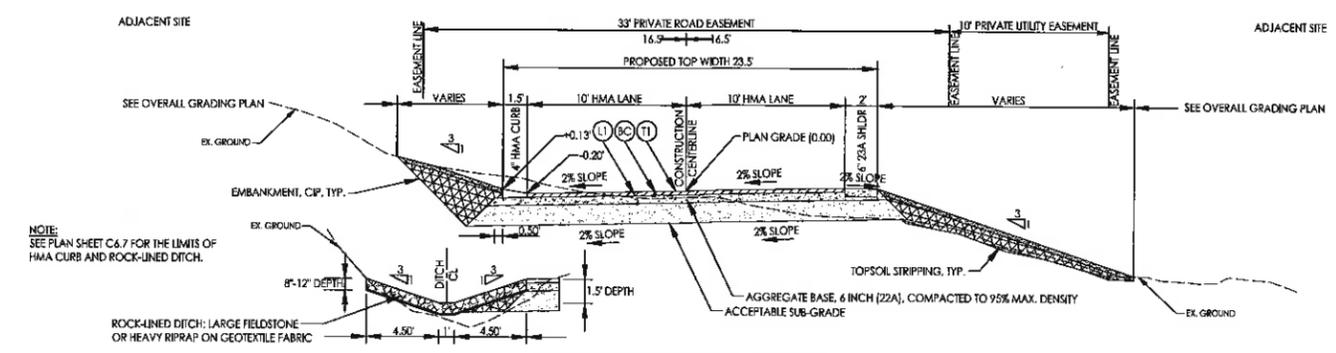
HMA APPLICATION ESTIMATE

INDENT NO.	ITEM	RATE LBS/SYD	PERFORMANCE GRADE	REMARKS
T1	HMA 13A	165	58-28	TOP COURSE (AWI 220 MIN.)
L1	HMA 13A	165	58-28	LEVELING COURSE
BC	HMA BOND COAT	0.05-0.15 g/syd	NA	FOR INFORMATION ONLY
-	HMA APPROACH	330	58-28	TWO LIFTS (MATCH T1 & L1)



PROPOSED STORM DITCH TYPICAL SECTION

TYPICAL TO APPLY: WHERE NOTED ON PLANS  
SCALE: 1"=1'



PROPOSED 20' TYPICAL SECTION

TYPICAL TO APPLY:  
THE 81 EAST, P.O.B. TO P.O.E.  
SCALE: 1"=1'

8301 Congreover Dr., Ste. 201  
P.O. Box 4015  
Traverse City, MI 49685  
Phone: 231-946-9310  
www.mansfield.com  
info@mansfield.com

**Mansfield**  
Land Use Consultants

REV.	DATE	BY	CHK	DESCRIPTION
13	12/24/14	dm	dm	Revised Emergency Access
14	07/14/15	dm	dm	Alameda Emergency Access
15	02/27/15	dm	dm	Alameda Emergency Access
16	12/14/15	dm	dm	Community Septic Field Layout
17	11/18/14	dm	dm	Water Storage Tank
18	10/28/14	dm	dm	Construction Plan Updates
19	10/28/14	dm	dm	Open Space Calculation Updates
20	10/28/14	dm	dm	Permit & Topo Submittal

The 81 Development Company, LLC  
The 81 on East Bay - PUD  
TYPICAL CROSS SECTIONS  
Section 14, Town 29 North, Range 10 West  
Peninsula Twp., Grand Traverse County, Michigan

SCALE: 1"=40' H, 1"=4' V

CONSTRUCTION

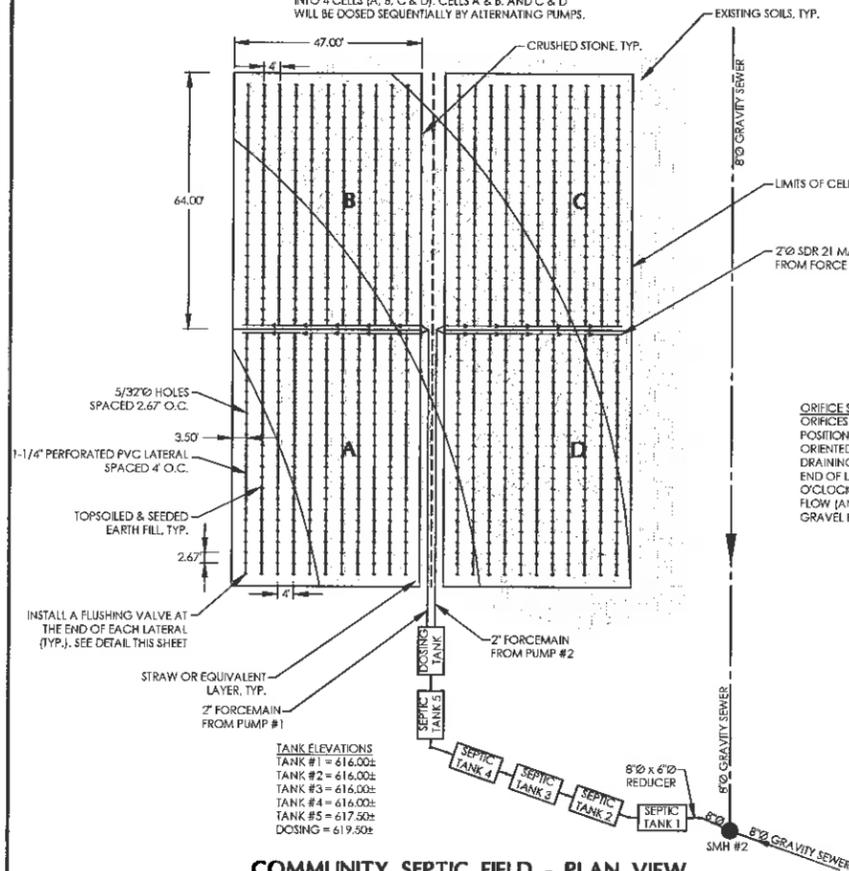
Jeh dm 03.05.14

14016

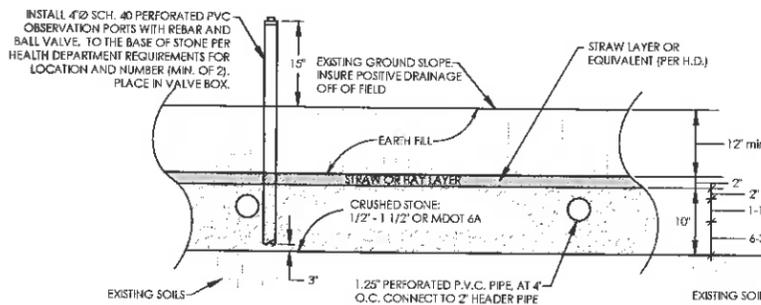
C1.2

C:\Users\jeh\Documents\Projects\81\81\_14016\81\_14016.dwg (12/24/14) - 148 81 - 2014 (10/28/14) - Rev04

NOTE:  
THE PROPOSED 12,032 SF ABSORPTION FIELD IS DIVIDED INTO 4 CELLS (A, B, C & D). CELLS A & B, AND C & D WILL BE DOSED SEQUENTIALLY BY ALTERNATING PUMPS.



**COMMUNITY SEPTIC FIELD - PLAN VIEW**  
SCALE: 1"=20'



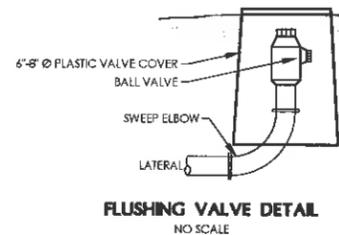
**TILE FIELD SECTION**  
NO SCALE

**SEPTIC SYSTEM CONSTRUCTION**

- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP MUST CONFORM WITH THE GRAND TRAVERSE COUNTY HEALTH DEPARTMENT CURRENT STANDARDS, SPECIFICATIONS AND DETAILS AND THE APPROVED HEALTH DEPARTMENT AND MDEQ PERMITS, UNLESS OTHERWISE APPROVED.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER 48 HOURS PRIOR TO THE START OF CONSTRUCTION OF THE SEPTIC SYSTEM. THE CONTRACTOR SHALL ISSUE A WORK SCHEDULE TO THE ENGINEER PRIOR TO THE START OF SEPTIC SYSTEM CONSTRUCTION.
- NO CONNECTION RECEIVING STORM WATER OR GROUND WATER SHALL BE MADE TO THE SEPTIC SYSTEM.
- ALL PIPES MUST BE SDR 21 OR EQUIVALENT (FROM DOSING CHAMBER TO ABSORPTION FIELD).
- ALL PIPE JOINTS MUST BE TIGHTLY GLUED & SEALED.
- THE SEPTIC SYSTEM SHALL BE A MINIMUM OF 4' ABOVE EXISTING GROUND WATER WATER TABLE.
- CONTROL PANEL PLACEMENT SHALL BE PER THE OWNER AND SYSTEM MAINTENANCE CONTRACTOR. THE CONSTRUCTION CONTRACTOR IS TO WORK WITH THE PUMP SUPPLIER AND ENGINEER TO INSURE PROPER PUMP AND CHAMBER INTERFACE.
- ALL TANK RISERS SHALL BE INSTALLED WATER TIGHT.
- THE CONTRACTOR SHALL FOLLOW MANUFACTURERS' RECOMMENDATIONS DURING INSTALLATION OF THE PUMP CHAMBER/PUMPS/CONTROL PANEL AND SEPTIC FIELD.
- THE SANITARY SEWER EASEMENT WILL BE THE ACCESS ROUTE FROM 81 AVE. FOR PERMANENT MAINTENANCE OF THE SYSTEM. THE GRAVITY SEWER BELOW THE ACCESS ROUTE SHALL HAVE 100% SAND BACKFILL COMPACTED AT 95% AND A MINIMUM OF 12 FEET WIDE. UP TO THE TOPSOIL GRADE. THE ACCESS ROUTE SHALL HAVE A GRASS SURFACE AND SHALL BE CENTERED WITHIN THE EASEMENT. THE ACCESS ROUTE SHALL BE ABLE TO SUPPORT SEPTIC PUMPING TRUCKS AND SIMILAR MAINTENANCE VEHICLES AND EQUIPMENT.

**PUMP SYSTEM COMPONENTS**

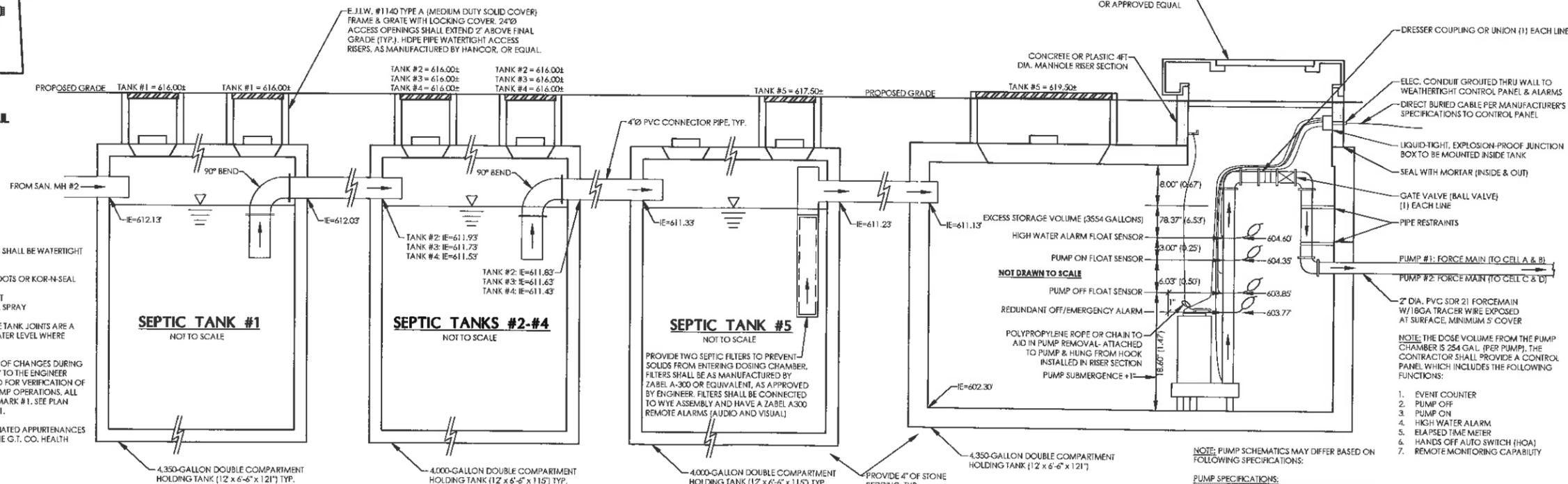
- PUMP CHAMBER = 4,350 GAL
- DOSE = 254 GAL (PER PUMP)
- DISCHARGE PER ORIFICE = (127 GAL / 253 ORIFICES) = 0.50 GAL/ORIFICE/DOSE
- DISCHARGE PER SF AREA = (3,008 SF / 253 ORIFICES) = 11.89 SF/ORIFICE (412 SF)
- PUMP REQUIREMENTS: 137 GPM @ 27.33' HEAD, 2 HP AND THE FOLLOWING:
- NON-CLOGGING & NON-JAMMING, DESIGNED SPECIFICALLY FOR THE SPECIFIC PURPOSE OF PUMPING DOMESTIC WASTEWATER EFFLUENT.
- BUILT-IN AUTOMATIC RESET OVERLOAD PROTECTION.
- ANTI-SIPHON VALVE SHALL BE INTEGRAL WITH THE PUMP.
- PROVIDE NON-FLOUING LEVEL SENSING CONTROL WITH NO MOVING PARTS IN CONTACT WITH ANY EFFLUENT.
- PROVIDE HIGH LEVEL, AUDIBLE AND VISUAL WARNING ALARM FOR HIGH WET WELL LEVEL.
- A BATTERY BACKUP SYSTEM IS RECOMMENDED.
- THE PUMP/PIPING SYSTEM SHALL BE SET UP TO ALLOW FOR FLUSHING OF THE SYSTEM.
- THE PUMP/ELECTRICAL SHALL MEET ALL STATE AND LOCAL ELECTRICAL CODES.
- PUMPS AND VALVES SHALL BE FITTED WITH UNIONS, VALVES AND ELECTRICAL CONNECTIONS NECESSARY FOR EASY PUMP REMOVAL AND REPAIR FROM THE GROUND SURFACE.
- THE PUMP CONTROLS SHALL HAVE REMOTE MONITORING CAPABILITIES.



**FLUSHING VALVE DETAIL**  
NO SCALE

**TANK GENERAL NOTES:**

- ALL CONCRETE PUMP CHAMBERS AND TANKS SHALL BE WATERTIGHT WITH THE FOLLOWING:
  - CAST-IN-PLACE WITH WATERTIGHT FERROCEMENT BOOTS OR KOR-N-SEAL RUBBER WATERSTOP OR EQUAL
  - CAST-IN-PLACE WITH WATERPROOFING AGENT
  - OWNER OPTIONAL: SPRAYED-ON SHEET ROCK SPRAY
- ALL TANKS SHALL BE INSTALLED SUCH THAT THE TANK JOINTS ARE A MINIMUM OF 1 FOOT ABOVE THE GROUNDWATER LEVEL WHERE POSSIBLE.
- ACTUAL ELEVATIONS MAY VARY AS A RESULT OF CHANGES DURING CONSTRUCTION. CONTRACTOR SHALL SUPPLY TO THE ENGINEER ACTUAL LOCATION WITH ELEVATIONS IN FIELD FOR VERIFICATION OF DOSING VOLUMES, PUMP CONTROLS AND PUMP OPERATIONS. ALL ELEVATIONS ARE REFERENCED FROM BENCH MARK #1. SEE PLAN SHEET FOR THE LOCATION OF BENCH MARK #1.
- DOSING TANK, SEPTIC TANKS AND ALL ASSOCIATED APPURTENANCES SHALL BE PER THE APPROVED PERMIT FROM THE G.T. CO. HEALTH DEPARTMENT AND THE MDEQ.



**SEPTIC/DOSING TANK DETAIL**  
NO SCALE

830 Cottageview Dr., Ste. 201  
P.O. Box 4015  
Traverse City, MI 49685  
Phone: 231-946-9310  
www.mansfield.com  
info@mansfield.com

**Mansfield**  
Land Use Consultants

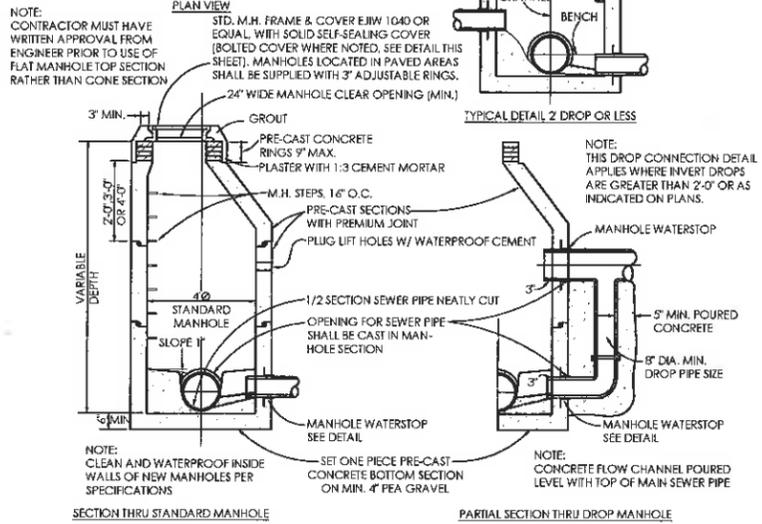
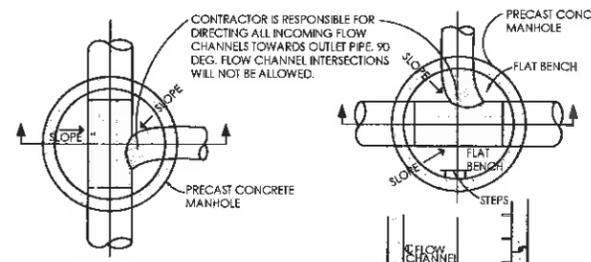
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13	07-04-13	dh	dh	Revised Emergency Access
14	07-14-13	dh	dh	Alternate Emergency Access
15	07-27-13	dh	dh	Alternate Emergency Access
16	12-14-13	dh	dh	Community Septic Field Layout
17	01-08-14	dh	dh	Water Storage Tank
18	01-29-14	dh	dh	Construction Plan Updates
19	01-29-14	dh	dh	Clear Span Calculation Updates
20	02-26-14	dh	dh	Permit & Submittal

The 81 Development Company, LLC  
The 81 on East Bay - PUD  
CIVIL DETAILS - SEPTIC SYSTEM  
Section 14, Town 29 North, Range 10 West  
Peninsula Twp., Grand Traverse County, Michigan

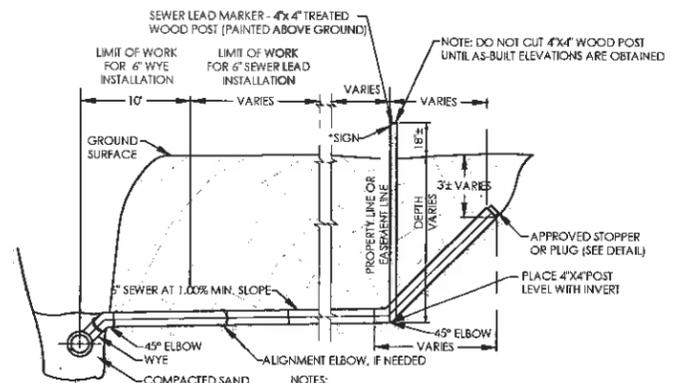
CONSTRUCTION

24'	dim
1/8"	dim
1/4"	dim
1/2"	dim
3/4"	dim
1"	dim
1 1/2"	dim
2"	dim
3"	dim
4"	dim
6"	dim
12"	dim
24"	dim
36"	dim
48"	dim
60"	dim
72"	dim
84"	dim
96"	dim
108"	dim
120"	dim
132"	dim
144"	dim
156"	dim
168"	dim
180"	dim
192"	dim
204"	dim
216"	dim
228"	dim
240"	dim
252"	dim
264"	dim
276"	dim
288"	dim
300"	dim
312"	dim
324"	dim
336"	dim
348"	dim
360"	dim
372"	dim
384"	dim
396"	dim
408"	dim
420"	dim
432"	dim
444"	dim
456"	dim
468"	dim
480"	dim
492"	dim
504"	dim
516"	dim
528"	dim
540"	dim
552"	dim
564"	dim
576"	dim
588"	dim
600"	dim
612"	dim
624"	dim
636"	dim
648"	dim
660"	dim
672"	dim
684"	dim
696"	dim
708"	dim
720"	dim
732"	dim
744"	dim
756"	dim
768"	dim
780"	dim
792"	dim
804"	dim
816"	dim
828"	dim
840"	dim
852"	dim
864"	dim
876"	dim
888"	dim
900"	dim
912"	dim
924"	dim
936"	dim
948"	dim
960"	dim
972"	dim
984"	dim
996"	dim
1008"	dim
1020"	dim
1032"	dim
1044"	dim
1056"	dim
1068"	dim
1080"	dim
1092"	dim
1104"	dim
1116"	dim
1128"	dim
1140"	dim
1152"	dim
1164"	dim
1176"	dim
1188"	dim
1200"	dim

14016  
C1.3

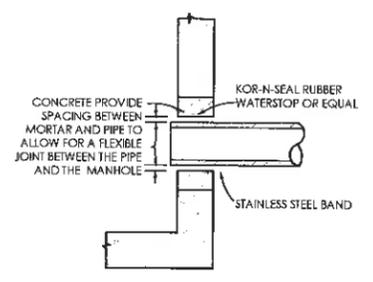


**STANDARD SANITARY MANHOLE DETAIL**  
NO SCALE

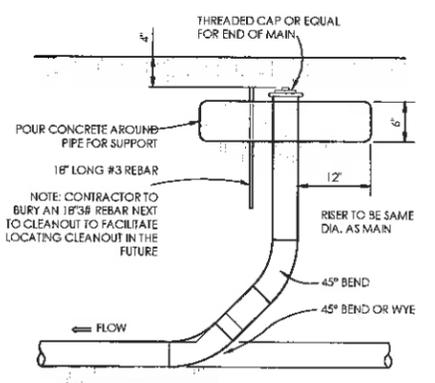


1. THE POSITION OF WYES SHOWN ON DRAWINGS IS APPROXIMATE AND IS INTENDED ONLY AS AN INDICATION THAT A WYE IS REQUIRED. ACTUAL POSITIONS WILL BE DETERMINED IN THE FIELD TO MOST FREQUENTLY SERVE THE PROPERTY INTENDED AND WILL BE RECORDED ON A SET OF AS-BUILT DRAWINGS.
2. WHEN SEWER LEAD ENDS BENEATH DRIVEWAY, PARKING LOT, ETC., (GRAVEL, CONCRETE, ASPHALT) TOP OF SEWER LEAD MARKER POST SHALL BE 6" BELOW SURFACE. FASTEN 3 - 1/2"x 1/4" STEEL PLATE ON TOP OF POST SO IT CAN BE LOCATED WITH A METAL DETECTOR.

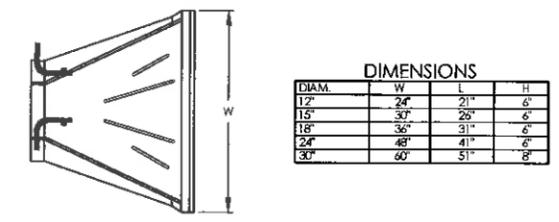
**WYE AND SEWER LEAD INSTALLATION DETAIL**  
NO SCALE



**WATERSTOP DETAIL**  
NO SCALE



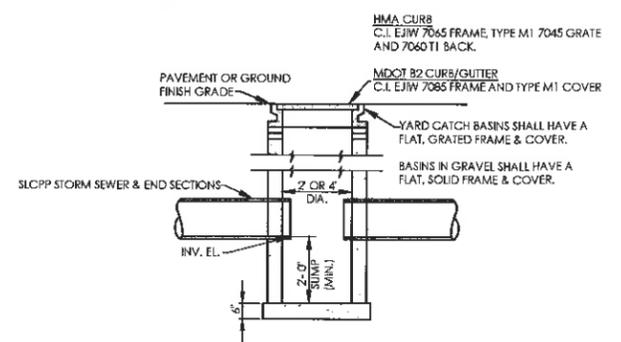
**6" OR 8" CLEANOUT DETAIL**  
NO SCALE



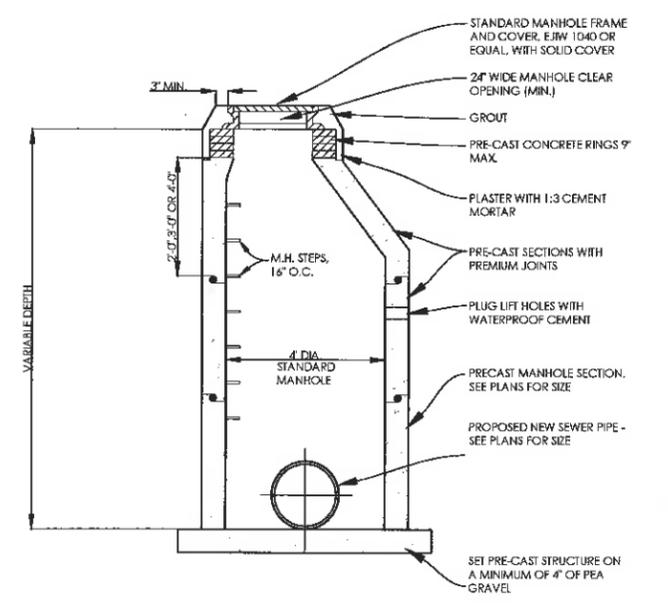
**DIMENSIONS**

DIAM.	W	L	H
12"	24"	21"	6"
15"	31"	25"	6"
18"	36"	31"	6"
24"	48"	41"	6"
30"	60"	51"	8"

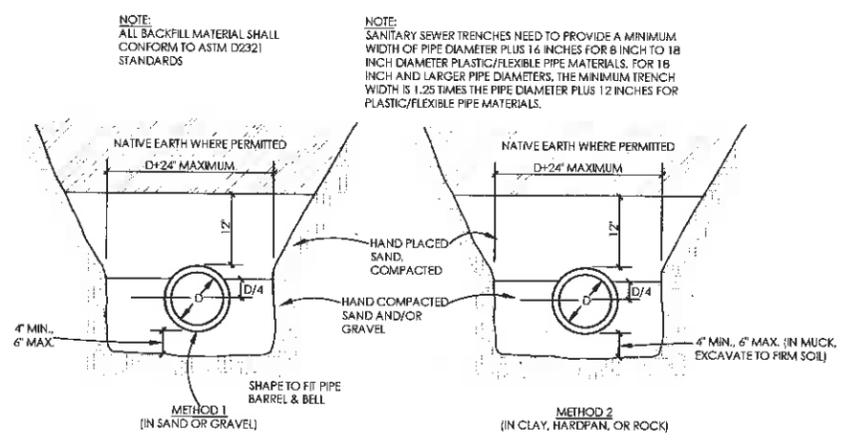
**CMP FLARED END SECTION DETAIL**  
NO SCALE



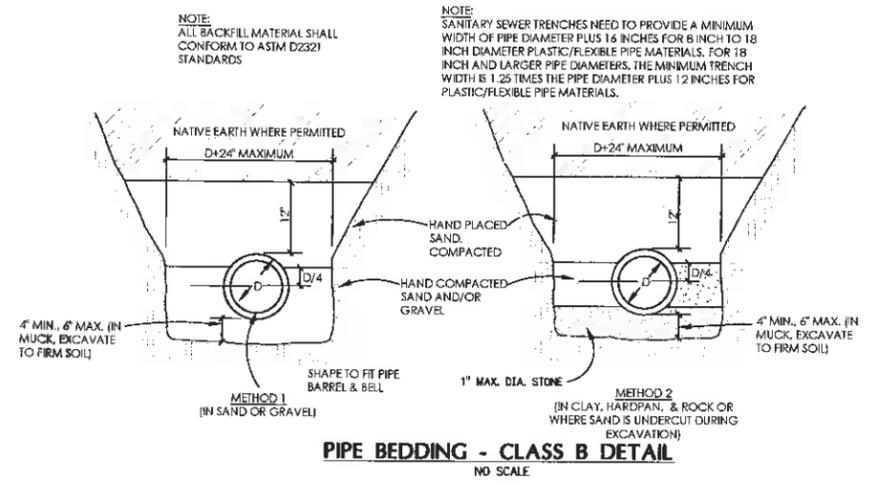
**2 OR 4 FT. DIA. CATCH BASIN DETAIL**  
NO SCALE



**4 FT. DIA. STORM MANHOLE DETAIL**  
NO SCALE



**PIPE BEDDING - CLASS A DETAIL**  
NO SCALE



**PIPE BEDDING - CLASS B DETAIL**  
NO SCALE

830 Cottageview Dr., Ste. 201  
P.O. Box 4015  
Traverse City, MI 49785  
Phone: 231-946-9310  
www.mansfield.com  
info@mansfield.com

**Mansfield**  
Land Use Consultants

REV.	DATE	BY	CHK	DESC
13	12/26/13	dlm	mmk	Revised Emergency Access
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15	07/23/14	dlm	mmk	Alameda Emergency Access
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17	11/16/14	dlm	mmk	Water Storage Tank
18	10/26/14	dlm	mmk	Construction Plan Updates
19	10/26/14	dlm	mmk	Open Space Calculation Updates
20	12/29/14	dlm	mmk	Range 8, Top 3, Submittals

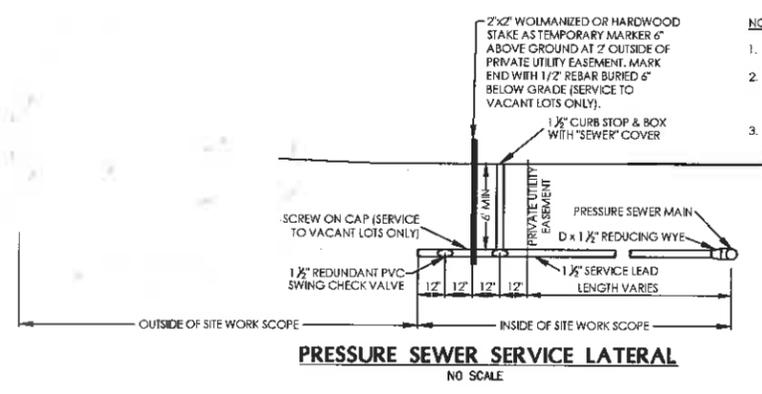
The 81 Development Company, LLC  
The 81 on East Bay - PUD  
CIVIL DETAILS - STORM & SANITARY SEWER  
Section 14, Town 29 North, Range 10 West  
Peninsula Twp., Grand Traverse County, Michigan

**CONSTRUCTION**

DATE: 03.05.14

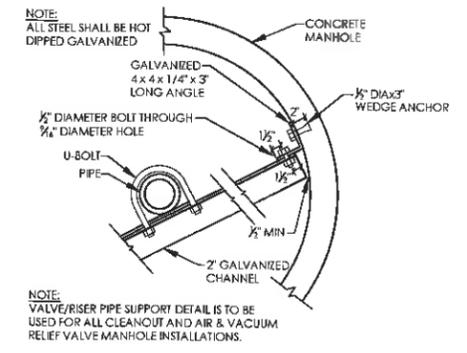
14016

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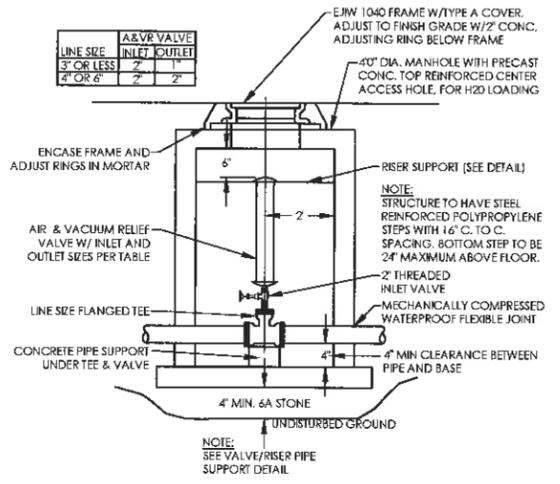


**PRESSURE SEWER SERVICE LATERAL**  
NO SCALE

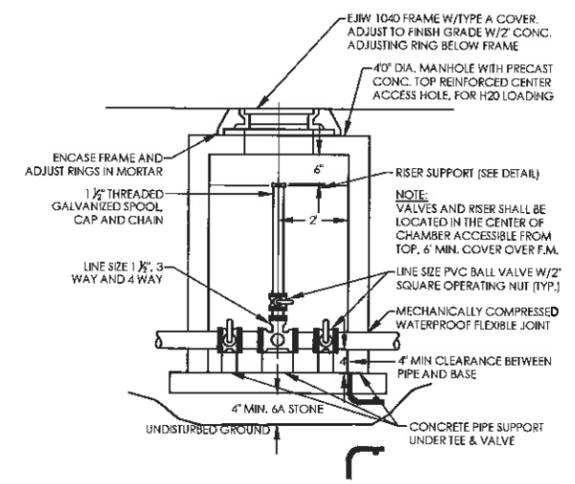
- NOTES:**
1. "D" = PRESSURE SEWER MAIN LINE SIZE
  2. COORDINATE LOCATION OF GRINDER PUMP STATION AND ROUTING OF LOW PRESSURE SEWER WITH INDIVIDUAL PROPERTY OWNERS
  3. FOR VACANT LOTS, TERMINATE LOW PRESSURE SEWER LEAD AT CURB STOP



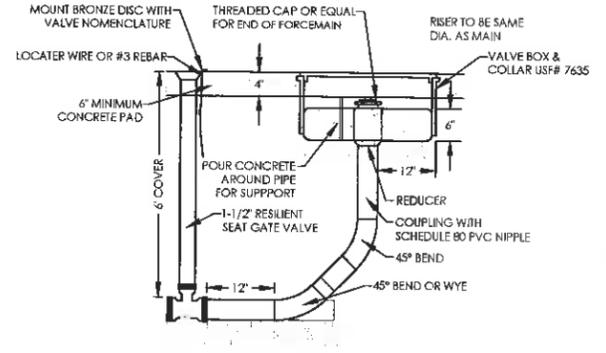
**VALVE / RISER PIPE SUPPORT DETAIL**  
NO SCALE



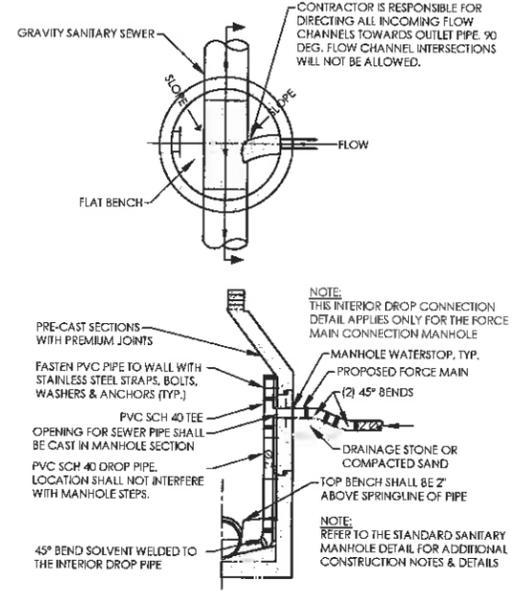
**AIR & VACUUM RELIEF VALVE MANHOLE**  
NO SCALE



**IN-LINE CLEANOUT**  
NO SCALE



**END-OF-LINE CLEANOUT DETAIL**  
NO SCALE



**FORCE MAIN DISCHARGE TO GRAVITY SEWER MANHOLE DETAIL**  
NO SCALE

LINE SIZE	A&V VALVE	INLET	OUTLET
3\"/>			

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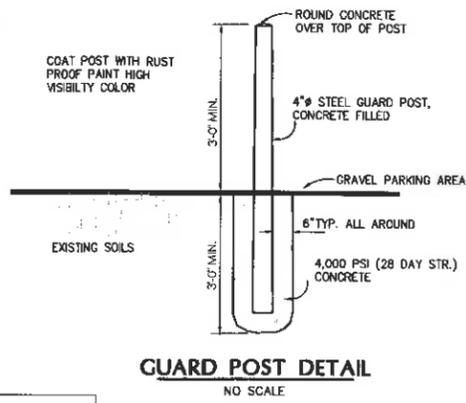
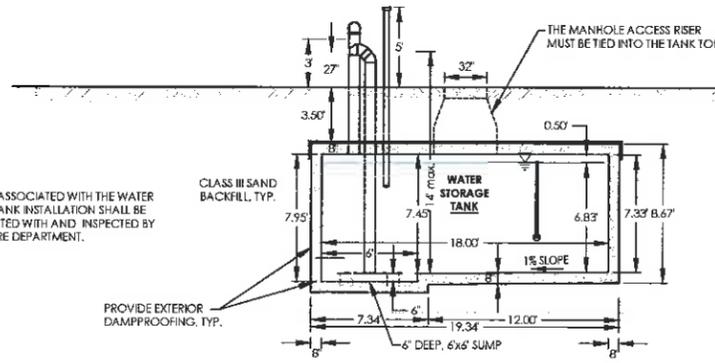
**Mansfield**  
Land Use Consultants

REV	DATE	BY	CHK	DESCRIPTION
13	12/26/13	dm	dm	Revised Emergency Access
14	01/14/14	dm	dm	Alternate Emergency Access
15	02/27/14	dm	dm	Alternate Emergency Access
16	12/14/13	dm	dm	Community Septic Field Layout
17	01/14/14	dm	dm	Water Storage Tank
18	04/14/14	dm	dm	Construction Plan Updates
19	04/28/14	dm	dm	Open Space Calculation Updates
20	02/27/14	dm	dm	Revised E. Two Submittals

The 81 Development Company, LLC  
The 81 on East Bay - PUD  
CIVIL DETAILS - SANITARY FORCE MAIN  
Section 14, Town 29 North, Range 10 West  
Peninsula Twp., Grand Traverse County, Michigan

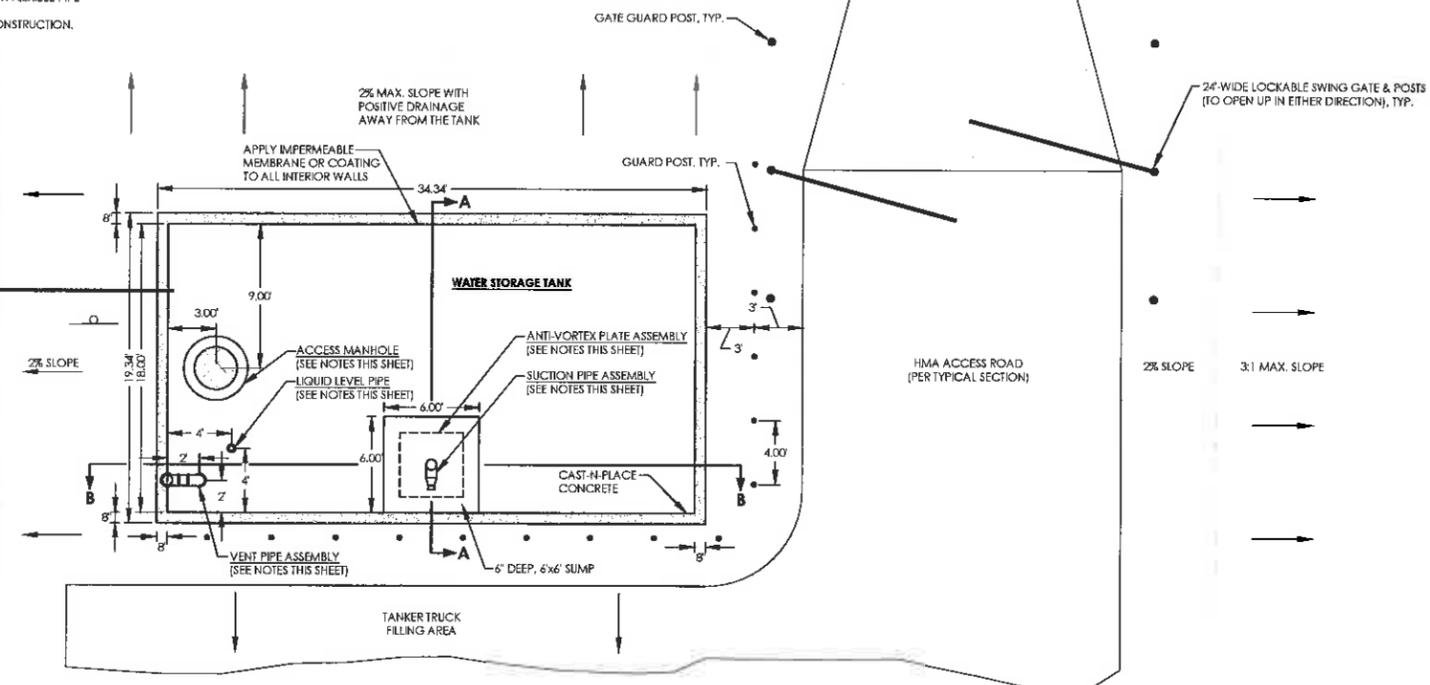
CONSTRUCTION
14016
C1.5

C:\Users\jacobson\Documents\81onEastBay\81onEastBay.dwg, 03/05/14, 10:00 AM, 10:00 AM, 10:00 AM

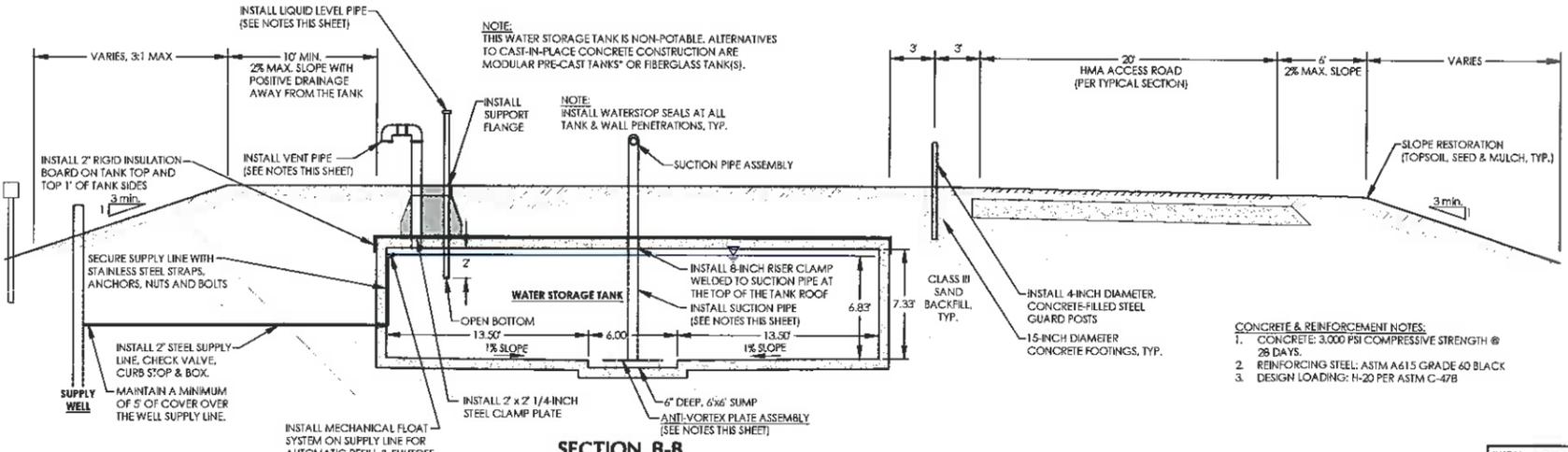


- \* MODULAR PRE-CAST TANK CONSTRUCTION NOTES:**
- EACH MODULAR PRE-CAST TANK SHALL HAVE ITS OWN MANHOLE ACCESS PER NOTES THIS SHEET.
  - ALL MODULAR PRE-CAST TANKS SHALL BE INTERCONNECTED TO EACH OTHER WITH 12" SCHEDULE 40 PVC PIPES WITH INVERTS LOCATED AT THE BOTTOM OF THE WATER STORAGE (6" OFF TANK BOTTOM) AND SEALED WITH FLEXIBLE PIPE SLEEVE CONNECTIONS (TYP.).
  - ALL MODULAR PRE-CAST TANKS SHALL HAVE INTERCONNECTING VENTS WITH AN 8" SCHEDULE 40 PVC PIPE (HORIZONTAL) WITH INVERTS LOCATED AT 12" BELOW THE TOP OF THE TANK AND SEALED WITH FLEXIBLE PIPE SLEEVE CONNECTIONS (TYP.).
  - SUBMIT SHOP DRAWINGS PRIOR TO CONSTRUCTION.

**NOTE:**  
THE CONTRACTOR SHALL INSTALL A FIRE DEPARTMENT APPROVED WATER POINT SIGN FACING 81 AVE. THE TOP OF THE SIGN SHALL BE 6 FEET ABOVE FINISHED GRADE AND FASTENED TO THE POST WITH STAINLESS STEEL NUTS AND BOLTS.



**PLAN VIEW**

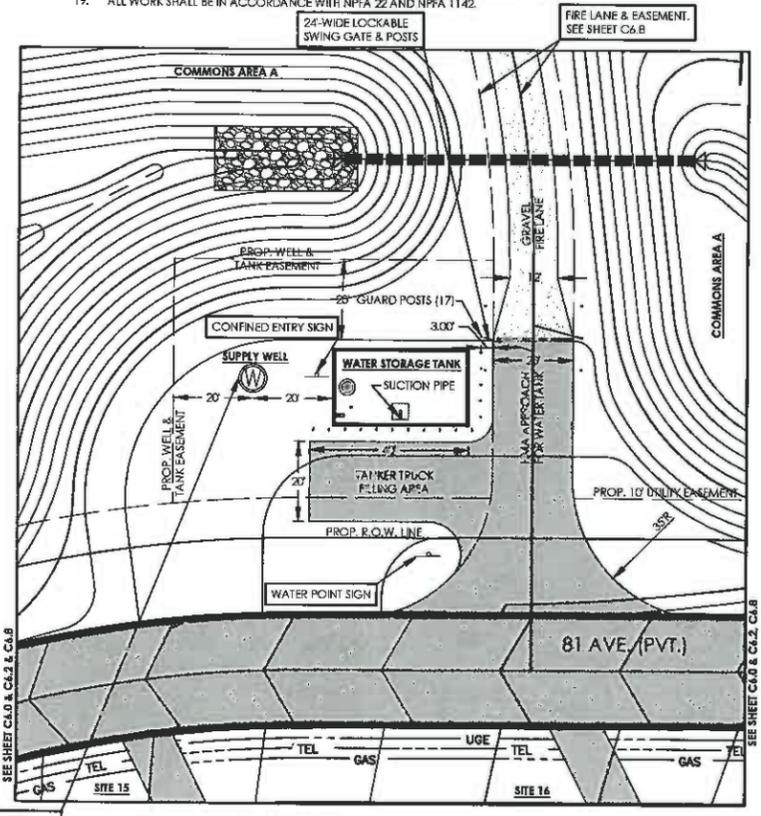


**SECTION B-B  
30,000-GALLON CISTERN DETAIL  
SCALE: 1" = 5'**

- CONCRETE & REINFORCEMENT NOTES:**
- CONCRETE: 3,000 PSI COMPRESSIVE STRENGTH @ 28 DAYS.
  - REINFORCING STEEL: ASTM A615 GRADE 60 BLACK.
  - DESIGN LOADING: H-20 PER ASTM C-478.

**WATER STORAGE TANK REQUIREMENTS:**

- CAST-IN-PLACE CONCRETE** SHALL HAVE A 3,000 PSI 28-DAY COMPRESSIVE STRENGTH. CONCRETE MIX SHALL HAVE A 4" MIN. SLUMP.  
CALCIUM CHLORIDE IS NOT ALLOWED. WINTER PLACEMENT AND CURING SHALL BE ACCORDING TO ACI CODES.
- INTERIOR CONCRETE TANK WALLS** SHALL HAVE AN IMPERMEABLE MEMBRANE OR COATING TO PREVENT LEAKAGE OR SEEPAGE.
- SUCTION PIPE ASSEMBLY REQUIREMENTS:**
  - ALL SUCTION AND FILL PIPING SHALL BE ASTM SCHEDULE 40 STAINLESS STEEL.
  - THE SUCTION PIPE SHALL BE 8 INCH DIAMETER AND SHALL BE PLACED AT 6 INCHES ABOVE THE TANK SUMP.
  - THE SUCTION PIPE SHALL HAVE AN 8 INCH RISER CLAMP WELDED TO IT AT THE TOP OF THE TANK ROOF.
  - THE SUCTION PIPE SHALL HAVE A WATER TIGHT SEAL WHERE IT PENETRATES THE TANK ROOF.
  - THE SUCTION PIPE SHALL BE PROPERLY SUPPORTED.
  - THE SUCTION PIPE TOP SHALL HAVE AN 8 INCH 45° ELBOW, AN 8 INCH NIPPLE, ANOTHER 8 INCH 45° ELBOW AND AN 8 INCH X 6 INCH ECCENTRIC REDUCER INSTALLED AND WELDED TO CREATE A 90° (PARALLEL TO GRADE) OUTLET.
  - THE FINAL PUMPER CONNECTION SHALL BE A 6 INCH NATIONAL HYDRANT THREAD FEMALE FITTING WITH A KNOX LOCKING CAP. THE SUCTION PIPE ASSEMBLY SHALL BE -27" ABOVE THE FINAL GRADE OF THE ADJACENT TANKER TRUCK FILLING AREA. DETERMINATION OF THE FINAL DESIGN FITTINGS AND ADAPTERS SHALL BE COORDINATED WITH THE PENINSULA FIRE DEPARTMENT PRIOR TO INSTALLATION.
  - THE BOTTOM OF THE SUCTION PIPE TO PUMPER CONNECTION SHALL NOT EXCEED 14 FEET VERTICAL DISTANCE.
- VENT PIPING REQUIREMENTS:**
  - ALL VENT PIPING SHALL BE 8 INCH ASTM SCHEDULE 40 PVC WITH GLUED JOINTS.
  - THE VENT PIPE SHALL BE SECURED TO THE TOP OF THE TANK BY 1/4 INCH STAINLESS STEEL MEASURING 24" X 24" AND ANCHORED AT FOUR CORNERS.
  - THE VENT PIPE SHALL HAVE A WATER TIGHT SEAL WHERE IT PENETRATES THE TANK ROOF.
  - THE VENT PIPE TOP SHALL HAVE AN 180° FITTING WITH A LOCKABLE PVC HINGED END CAP WITH A KNOX PADLOCK (PART #3770) PROVIDED.
  - THE VENT PIPE TOP SHOULD BE APPROXIMATELY 36" ABOVE FINAL GRADE.
- WELL SUPPLY PIPE REQUIREMENTS:**
  - ALL WORK ASSOCIATED WITH THE NON-POTABLE (IRRIGATION) WELL INSTALLATION AND WATER SUPPLY LINE TO THE WATER STORAGE TANK SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS OF THE APPROVED PERMIT FROM THE G.T. CO. HEALTH DEPARTMENT. THE SUPPLY WELL SHOULD PROVIDE A MINIMUM OF 25 GPM TO THE TANK.
- LIQUID LEVEL PIPE:**
  - ALL LIQUID LEVEL PIPE SHALL BE 3 INCH (MIN.) ASTM SCHEDULE 40 PVC.
  - THE LIQUID LEVEL PIPE SHALL BE INSTALLED WITH A LOCKABLE PVC HINGED END CAP FOR LEVEL DETECTION.
  - ALL PIPING ABOVE THE TANK ROOF SHALL BE PAINTED FIRE HYDRANT RED AND THE PVC PIPING SHALL BE RATED FOR OUTDOOR USE EXPOSED TO UV LIGHT.
- WHERE MULTIPLE TANKS ARE UTILIZED TO MEET CAPACITY REQUIREMENTS, A MINIMUM OF TWO 12-INCH PIPES SHALL CONNECT THE TANKS NEAR THE BOTTOM TO FACILITATE GRAVITY EQUALIZATION OF WATER LEVEL.
- ALL TANKS SHALL HAVE AN ACCESS MANHOLE FROM THE TANK TOP UP TO FINAL GRADE WITH 32-INCH INSIDE DIAMETER (MIN.) AND AN APPROVED FRAME & COVER CAPABLE OF BEING LOCKED WITH A KNOX PADLOCK #3770. PROVIDE ADJUSTING GRADE RINGS AS NECESSARY.
- THE TANK BACKFILL SHALL BE 3.5 FOOT WITH 2" THICK RIGID INSULATION ON THE TOP OF THE ENTIRE TANK. ALL BACKFILL SHALL EXTEND A MINIMUM OF 10 FEET BEYOND THE EDGE OF THE TANK(S) THEN A MAXIMUM 3:1 SLOPE.
- ALL DISTURBED AREAS SHALL BE RESTORED WITH TOPSOIL, SEED & MULCH.
- THE TANK SUCTION PIPES SHALL BE LOCKED WITH 180° FITTING WITH A LOCKABLE PVC HINGED END CAP WITH A KNOX PADLOCK #3770. PROVIDE ADJUSTING GRADE RINGS AS NECESSARY.
- THE CONTRACTOR SHALL INSTALL FIRE LANE SIGNS AT THE ACCESS GATES AND AS DIRECTED BY THE TOWNSHIP FIRE DEPARTMENT.
- GUARD POSTS:**
  - GUARD POSTS SHALL BE STEEL WITH A MINIMUM 4 INCH DIAMETER AND CONCRETE FILLED.
  - GUARD POST SPACING SHALL BE 4-FOOT MAXIMUM, ON CENTER.
  - GUARD POSTS SHALL HAVE A MINIMUM BURY DEPTH OF 3 FEET AND A 16 INCH DIAMETER CONCRETE FOOTING.
  - GUARD POSTS SHALL BE A MINIMUM OF 3 FEET ABOVE GROUND.
  - GUARD POSTS SHALL BE SET A MINIMUM OF 3 FEET FROM THE PROTECTED OBJECT.
  - AN APPROVED WATER POINT SIGN SHALL BE INSTALLED FACING THE ROAD FRONTING THE WATER POINT (81 AVE). THE TOP OF THE SIGN SHALL BE 6 FEET ABOVE GRADE AND FASTENED TO THE POST WITH STAINLESS STEEL NUTS AND BOLTS.
  - AN APPROVED CONFINED SPACE ENTRY SIGN SHALL BE INSTALLED IN THE VICINITY OF THE TANK ACCESS MANHOLE(S). THE SIGN SHALL INDICATE "DANGER, FOLLOW CONFINED SPACE ENTRY PROCEDURE BEFORE ENTERING". THE TOP OF THE SIGN SHALL BE 6 FEET ABOVE GRADE AND FASTENED TO THE POST WITH STAINLESS STEEL NUTS AND BOLTS.
- ALL WORK ASSOCIATED WITH THE WATER STORAGE TANK INSTALLATION SHALL BE INSPECTED AND APPROVED BY THE TWP. FIRE DEPARTMENT.
- ANTI-VORTEX PLATE ASSEMBLY:**
  - THE DISCHARGE OUTLET SHALL BE EQUIPPED WITH AN ASSEMBLY THAT CONTROLS VORTEX FLOW. THE ASSEMBLY SHALL CONSIST OF A HORIZONTAL STAINLESS STEEL PLATE MOUNTED AT THE OUTLET SIX INCHES ABOVE THE BOTTOM OF THE TANK SUMP.
  - THE ANTI-VORTEX PLATE SHALL BE 1/4 INCH STAINLESS STEEL AND MEASURE 4 FEET BY 4 FEET. THE PLATE SHALL BE WELDED TO THE SUCTION PIPE AND ANCHORED IN FOUR CORNERS BY A MINIMUM OF 1 INCH THREADED STAINLESS STOCK. TWO SUPPORTS SHALL BE INSTALLED 6-10 INCHES FROM THE SUCTION PIPE AND SHALL BE 1 INCH STAINLESS STOCK.
- ALL WORK SHALL BE IN ACCORDANCE WITH NFPA 22 AND NFPA 1142.



**SITE PLAN - WATER STORAGE TANK & WELL  
SCALE: 1" = 20'**

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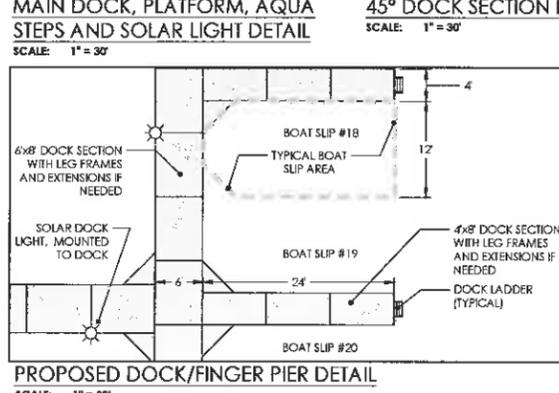
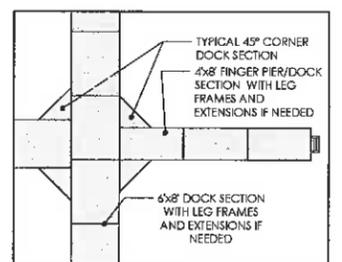
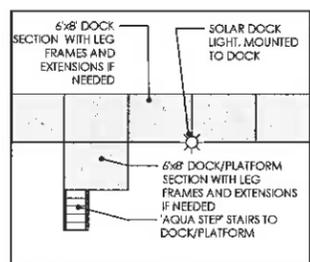
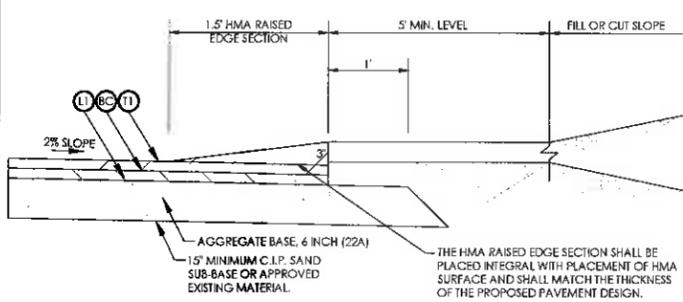
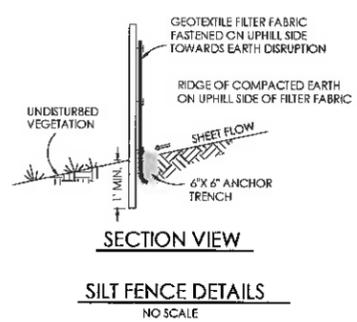
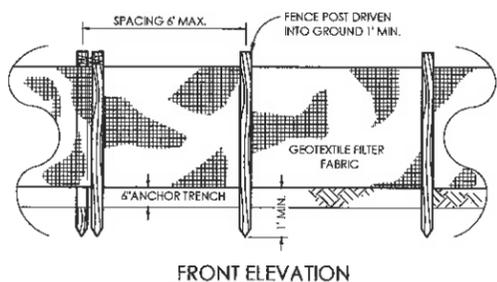
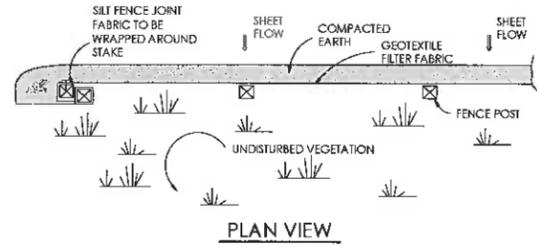
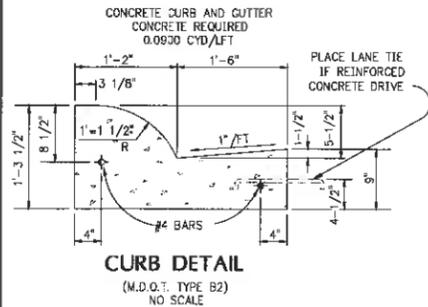
REV.	DATE	BY	CHK	DESCRIPTION
13	10/26/18	dm	dm	Revised Emergency Access
14	01/14/19	dm	dm	Alabama Emergency Access
15	02/22/19	dm	dm	Alabama Emergency Access
16	03/14/19	dm	dm	Community Legis. Field Layout
17	03/14/19	dm	dm	Water Storage Tank
18	03/14/19	dm	dm	Contributor Plan Details
19	10/26/18	dm	dm	Open Space Calculation (add'l)
20	02/21/19	dm	dm	Range 8, Top, Submittal

The 81 Development Company, LLC  
The 81 on East Bay - PUD  
CIVIL DETAILS - WATER TANK  
Section 14, Town 29 North, Range 10 West  
Peninsula Twp., Grand Traverse County, Michigan

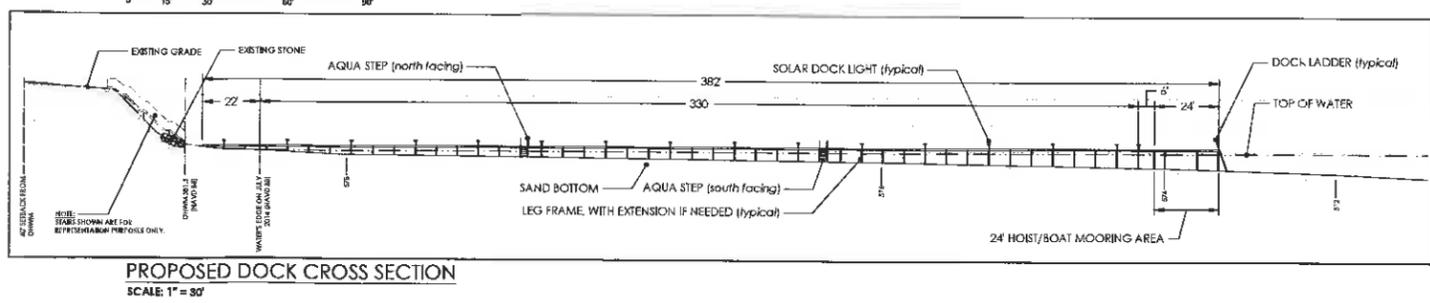
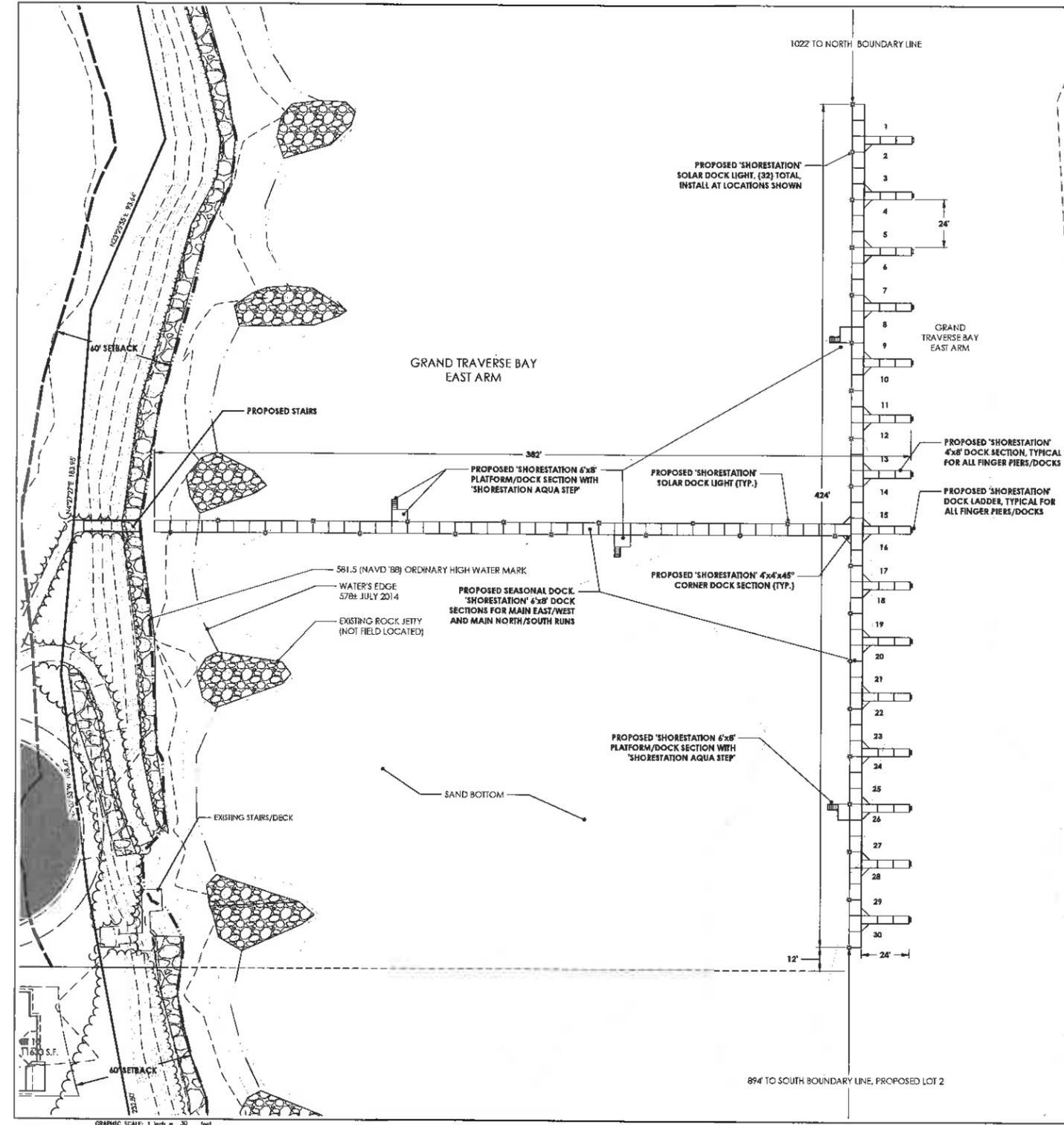
**CONSTRUCTION**

14016

CI.6



- DOCK NOTES:**
1. Provided: 30 Boat slips between finger piers/docks.
  2. Proposed 'SHORESTATION' board, seasonal dock extending up to existing deck.  
Main Dock: 6'x8' standard aluminum dock sections  
Finger Piers/Docks: 4'x8' standard aluminum dock sections  
45° Angles: 45° standard left or right aluminum dock, 45° corner sections  
Platforms/Dock: 6'x8' standard aluminum dock sections  
Dock Ladders: Adjustable aluminum ladders located at the end of each finger pier/dock  
Dock Steps: AQUA STEP aluminum stairs with handrails for ease of access out of the water and onto the dock. The number of steps for each to be determined by dock designer.  
Dock Lighting: Solar Dock Light, mounted to dock, easily relocated. LED lighting has as much light as a 40 watt bulb, lighting is down cast.
  3. Determining exact stair string, supports and extension sizing, etc. and all other items required for the proposed seasonal dock system, will be determined by a 'SHORESTATION' representative qualified to design the seasonal dock system.
  4. SHORESTATION Docks are designed to be seasonal docks only. To be installed and removed after the threat of ice damage has passed. The foot pads on each of the dock legs and extensions are designed to simply rest on the lake bottom and can work in water up to 12'4\"/>
  - 5. All boat mooring equipment and or hoists, will be privately owned. Permitting requirements, installation and removal of said equipment will be the responsibility of the individual owner or the association.



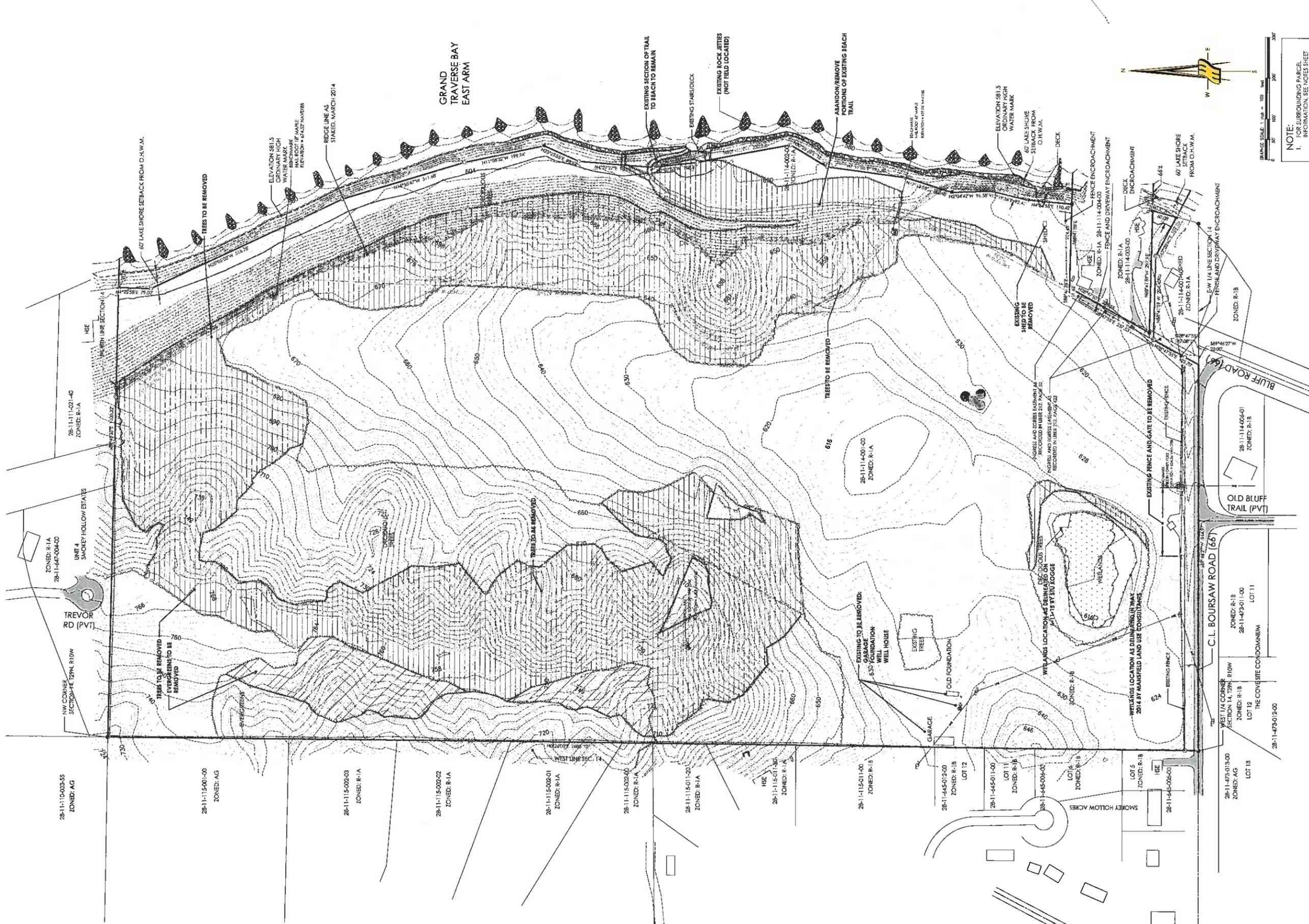
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REV	DATE	BY	CHK	DESC
13	07/26/13	dm	dm	Revised Emergency Access
14	07/24/13	dm	dm	Alternate Emergency Access
15	07/27/13	dm	dm	Alternate Emergency Access
16	12/14/13	dm	dm	Community Septic Field Layout
17	01/14/14	dm	dm	Water Storage Tank
18	01/28/14	dm	dm	Construction Plan Updates
19	01/28/14	dm	dm	Open Space Calculation Updates
20	02/05/14	dm	dm	Permit & Top. Updates

The 81 Development Company, LLC  
The 81 on East Bay - PUD  
CIVIL DETAILS - MISC.  
Section 14, Town 29 North, Range 10 West  
Peninsula Twp., Grand Traverse County, Michigan

CONSTRUCTION			
DATE	BY	CHK	SCALE
dm	dm	dm	03.05.14
14016			
C1.7			



NOTE:  
1. FOR SURROUNDING PARCEL INFORMATION, SEE NOTES SHEET

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REV.	DATE	BY	CHK	DESCRIPTION
13	07-26-13	dm	dm	Revised Emergency Access
14	07-14-13	dm	dm	Alternate Emergency Access
15	07-27-13	dm	dm	Alternate Emergency Access
16	12-14-13	dm	dm	Community Specific Field Layout
17	01-19-14	dm	dm	Work Storage Tank
18	01-28-14	dm	dm	Construction Plan Updates
19	01-28-14	dm	dm	Open Space Calculation Updates
20	03-05-14	dm	dm	Final & Top. Separation

The 81 Development Company, LLC  
**The 81 on East Bay - PUD**  
 EXISTING CONDITIONS & DEMOLITION PLAN  
 Section 14, Town 29 North, Range 10 West  
 Peninsula Twp., Grand Traverse County, Michigan

CONSTRUCTION
DATE: 03.05.14
PROJECT: 14016
SCALE: C2.0

USDA SOILS DATA

TYPE	MAP UNIT NAME	ACIAC	AOI%	TYPE	MAP UNIT NAME	ACIAC	AOI%
EmA	EAST-LAKE-MANCELONA LOAMY SANDS 0-2% SLOPES	15.4	13.5%	MaA	MANCELONA GRAVELLY SANDY LOAM, 0-2% SLOPES	7.5	6.5%
FmB	EAST-LAKE-MANCELONA LOAMY SANDS, 2-6% SLOPES	1.1	1.0%	MaC	MANCELONA GRAVELLY SANDY LOAM, 6-12% SLOPES	2.9	2.6%
EyB	EMMET SANDY LOAM 2-6% SLOPES	1.4	1.2%	MaC2	MANCELONA GRAVELLY SANDY LOAM, 6-12% SLOPES, MOD. ERODED	9.2	8.0%
KaE2	KALKASKA LOAMY SAND 18-25% SLOPES, MOD. ERODED	0.9	0.8%	Mk	ADRIAN MUCK, 0-1% SLOPES	1.2	1.0%
LkB	LEELANAU-KALKASKA LOAMY SANDS, 2-6% SLOPES	4.3	3.7%	RcB	RICHTER LOAMS, 0-6% SLOPES, OVERWASH	9.6	8.3%
LkD2	LEELANAU-KALKASKA LOAMY SANDS, 18-25% SLOPES	8.0	7.0%				
LkE2	LEELANAU-KALKASKA LOAMY SANDS, 25-45% SLOPES	8.3	7.2%				
LkF	LEELANAU-KALKASKA LOAMY SANDS, 2-6% SLOPES	17.1	14.8%				
LkF2	LEELANAU-KALKASKA LOAMY SANDS, 2-6% SLOPES	12.7	11.0%				



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NO.	DATE	BY	CHK	DESCRIPTION
13	07/26/13	dm	dm	Issue Emergency Access
14	07/24/13	dm	dm	Alternate Emergency Access
15	07/22/13	dm	dm	Alternate Emergency Access
16	12/14/13	dm	dm	Community Traffic Road Layout
17	01/16/14	dm	dm	Water Storage Tank
18	01/26/14	dm	dm	Construction Plan Updates
19	01/28/14	dm	dm	Open Space Calculation Updates
20	02/26/14	dm	dm	Final E, Top, Utilities

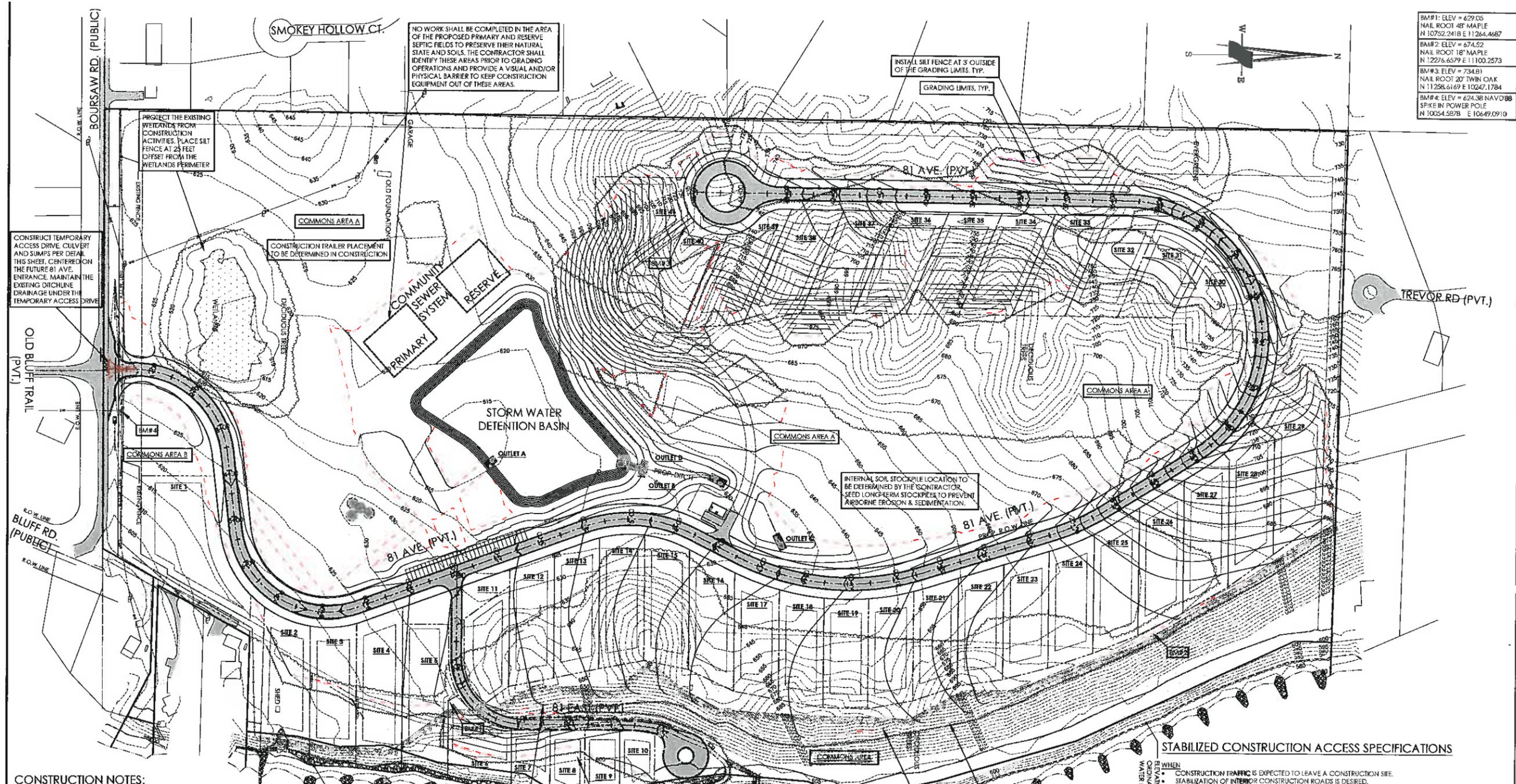
The 81 Development Company, LLC  
The 81 on East Bay - PUD  
SOILS MAP  
Section 14, Town 29 North, Range 10 West  
Peninsula Twp., Grand Traverse County, Michigan

CONSTRUCTION

DATE	BY	CHK
dm	dm	dm
DATE	BY	CHK
dm	dm	dm

14016  
C2.1

P:\2014\70302014\81 on East Bay\Soils\Map... 2014 L2014-10-29



BM#1: ELEV = 629.05 NAIL ROOT 4" MAPLE N 10752.2418 E 11264.4667
BM#2: ELEV = 674.52 NAIL ROOT 18" MAPLE N 12276.6579 E 11100.2573
BM#3: ELEV = 734.81 NAIL ROOT 20" TWIN OAK N 11258.6169 E 10247.1784
BM#4: ELEV = 624.38 NAVD88 SPIKE IN POWER POLE N 10034.5878 E 10649.0910

**Mansfield**  
Land Use Consultants

REV	DATE	BY	CHK	DESCRIPTION
1	10/26/17	dm	dm	Issue (Emergency Access)
2	10/26/17	dm	dm	Issue (Emergency Access)
3	10/27/17	dm	dm	Issue (Emergency Access)
4	10/27/17	dm	dm	Issue (Emergency Access)
5	10/27/17	dm	dm	Issue (Emergency Access)
6	10/27/17	dm	dm	Issue (Emergency Access)
7	10/27/17	dm	dm	Issue (Emergency Access)
8	10/27/17	dm	dm	Issue (Emergency Access)
9	10/27/17	dm	dm	Issue (Emergency Access)
10	10/27/17	dm	dm	Issue (Emergency Access)

- CONSTRUCTION NOTES:**
- SILT FENCE SHALL BE INSTALLED BEFORE THE CONSTRUCTION BEGINS AND SHALL BE MAINTAINED THROUGHOUT THE PROJECT DURATION UNTIL PERMANENT VEGETATION IS ESTABLISHED AND THE SITE IS STABILIZED. THE CONTRACTOR MUST REMOVE THE SILT FENCE UPON COMPLETION.
  - ALL STUMPS AND UNDERGROUND ORGANIC MATERIAL SHALL BE COMPLETELY REMOVED WITH AN EXCAVATOR AND HAULED OFF THE SITE.
  - ALL STUMPS, LOGS AND CHIPS WILL BE HAULED OFF THE SITE TO A LICENSED LANDFILL/PIL. NOTHING SHALL BE BURIED ON SITE.
  - THE CONTRACTOR WILL OBTAIN A TEMPORARY ACCESS PERMIT FOR ACCESS ONTO BOURSAW ROAD. THE TEMPORARY CONSTRUCTION ACCESS, CULVERT AND SEDIMENT SUMPS SHALL BE MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
  - STOCKPILES SHALL BE LOCATED INLAND, AWAY FROM THE EXISTING WETLANDS AND LAKESIDE BLUFFS. DORMANT STOCKPILES SHALL BE SEED TO PREVENT SEDIMENTATION AND AIRBORNE EROSION.
  - THE STORM BASIN & SEDIMENT FOREBAY SHALL BE CONSTRUCTED PRIOR TO THE CONSTRUCTION OF THE STORM SEWER AND DITCHING.
  - FINAL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE APPROVED S.E.S.C. PERMIT FROM GRAND TRAVERSE COUNTY.
  - CARE SHOULD BE TAKEN TO PREVENT MATERIAL MOVEMENT INTO ADJACENT WETLANDS & WATERBODIES.
  - CARE SHOULD BE TAKEN TO MAINTAIN EXISTING ROADSIDE DRAINAGE VIA CULVERT INSTALLATION, WITH SEDIMENT SUMP PLACED DOWNFLOW OF CULVERT.
  - THE LIMITS OF ALL CONSTRUCTION WORK SHALL BE A MINIMUM OF 25' OUTSIDE OF THE EXISTING WETLANDS.
  - SLOPES 3:1 OR STEEPER SHALL BE RESTORED WITH MULCH BLANKET, AS NECESSARY.
  - THE CONTRACTOR SHALL USE WATER OR DUST PALLIATIVE TO CONTROL DUST ON AND ADJACENT TO THE PROJECT SITE. MAINTAIN THE BOURSAW ROAD ENTRANCE BY REGULAR SWEEPING, AS NECESSARY UNTIL THE SITE IS PERMANENTLY STABILIZED.
  - MINIMIZE DISTURBANCE TO ALL EXISTING VEGETATION ALONG THE LAKESIDE BLUFFS AND THE LAKESHORE COMMUNITY AREAS, EXCEPT WHERE NOTED OTHERWISE.

MASS GRADING SHALL BE COMPLETED TO PREVENT EROSION OF THE EXISTING LAKESIDE BLUFFS. MINIMIZE DISTURBANCE OF EXISTING VEGETATION TO MAINTAIN A STABILIZED BLUFF. THE MASS GRADING ALONG THE BLUFFS SHALL BE CAREFULLY COMPLETED TO PREVENT ANY EXCAVATED MATERIAL FROM SLIDING DOWN THE BLUFF. THE RIDGE SHALL BE EXCAVATED BY UNDERMINING ON THE VALLEY SIDE SUCH THAT ALL MATERIAL MAY BE PULLED AWAY FROM THE BLUFF TO PREVENT ANY LOSS OF MATERIAL OR EROSION DOWN THE BLUFF.

- CONSTRUCTION SCHEDULE NARRATIVE:**
- INSTALL TEMPORARY S.E.S.C. MEASURES
  - INSTALL CONSTRUCTION ENTRANCE
  - SITE CLEARING & GRUBBING, STUMP & DEBRIS REMOVAL
  - SITE & ROADWAY MASS GRADING
  - STORM BASIN CONSTRUCTION & PERMANENT S.E.S.C. MEASURES
  - DITCHING AND UNDERGROUND UTILITIES
  - ROADWAY HMA PAVEMENT
  - ESTABLISH TEMPORARY SEEDING & VEGETATION, AS NECESSARY
  - FINAL GRADING
  - FINAL RESTORATION: SEED & MULCH, TREES & LANDSCAPING
  - REMOVE SILT FENCE AND TEMPORARY S.E.S.C. MEASURES AT PROJECT COMPLETION

**PROPOSED COMMUNITY DOCK & SLIPS**



NOTE:  
SEE THE SOILS MAP SHEET C2.1 FOR  
INFORMATION ON PROJECT SOIL TYPES

**STABILIZED CONSTRUCTION ACCESS SPECIFICATIONS**

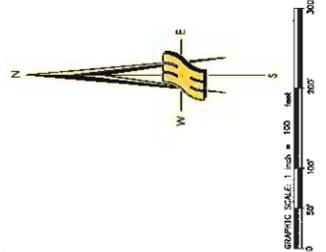
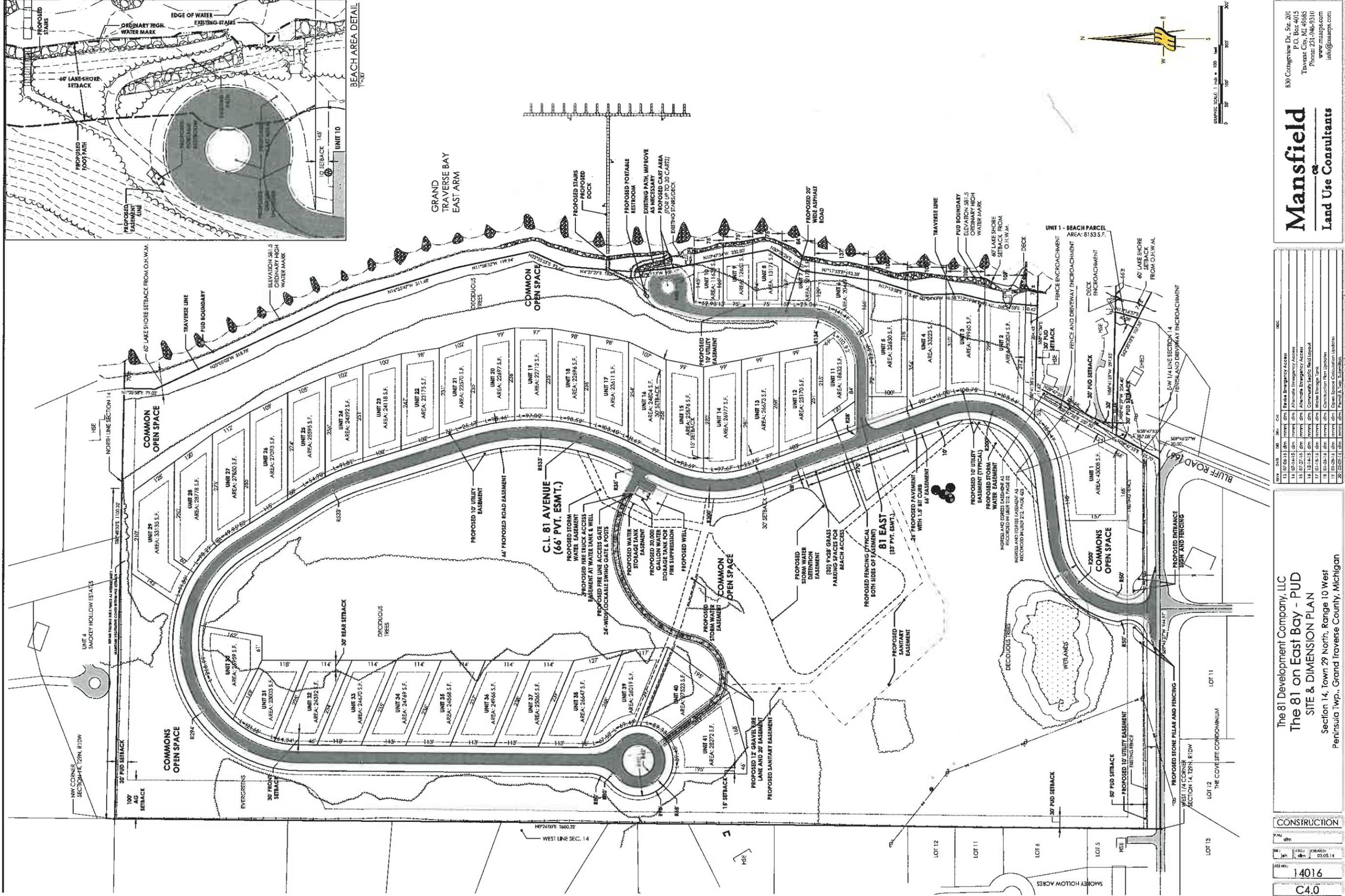
- WHEN:**
- CONSTRUCTION TRAFFIC IS EXPECTED TO LEAVE A CONSTRUCTION SITE.
  - STABILIZATION OF INTERIOR CONSTRUCTION ROADS IS DESIRED.
- WHY:**
- TO MINIMIZE TRACKING OF SEDIMENT ONTO PUBLIC ROADWAYS AND TO MINIMIZE DISTURBANCE OF VEGETATION.
- WHERE:**
- STABILIZED CONSTRUCTION ENTRANCES SHALL BE LOCATED AT EVERY POINT WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES A CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST BE ROUTED OVER THE ROCK INGRESS/EGRESS CORRIDOR.
- HOW:**
- STABILIZED CONSTRUCTION ACCESS ROAD SHOULD BE ESTABLISHED AT THE ONSET OF THE CONSTRUCTION ACTIVITIES AND MAINTAINED IN PLACE FOR THE DURATION OF THE CONSTRUCTION PROJECT.
  - INSTALLATION OF THIS PRACTICE SHOULD BE THE RESPONSIBILITY OF THE SITE CLEARING OR EXCAVATING CONTRACTOR.
  - ACCESS LOCATION SHOULD BE CLEARED OF WOODY VEGETATION.
  - NON-WOVEN GEOTEXTILE FABRIC SHALL BE PLACED OVER THE EXISTING GRASSY GROUND PRIOR TO PLACING STONE.
  - ACCESS SIZE SHOULD BE A MINIMUM OF 50' (30' FOR SINGLE RESIDENCE LOT).
  - ACCESS WIDTH SHOULD BE 12' MINIMUM, FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
  - CRUSHED AGGREGATE (2" TO 3") OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT, SHALL BE PLACED AT LEAST 8" DEEP OVER THE LENGTH AND WIDTH OF THE INGRESS/EGRESS CORRIDOR.
- MAINTENANCE:**
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN EVENT.
  - STABILIZED ENTRANCES SHALL BE REPAIRED AND ROCK ADDED AS NECESSARY.
  - SEDIMENT DEPOSITED ON PUBLIC RIGHTS-OF-WAY SHALL BE REMOVED IMMEDIATELY AND RETURNED TO THE CONSTRUCTION SITE. REMOVE ACCUMULATED SEDIMENT IN THE SUMPS AND MAINTAIN SWEET ROADS.
  - IF SOILS ARE SUCH THAT WASHING OF TIRES IS REQUIRED, IT SHALL BE DONE IN A WASH RACK AREA, STABILIZED WITH STONE, IMMEDIATELY PRIOR TO THE CONSTRUCTION ACCESS STABILIZED CORRIDOR.
  - AT THE PROJECT COMPLETION, ROCK ACCESS ROAD SHOULD BE REMOVED AND DISPOSED OF UNLESS UTILIZED AS SUBGRADE FOR FINAL ROAD.
- LIMITATIONS:**
- EFFECTIVENESS LIMITED. SEDIMENT MAY BE TRACKED ONTO ROADS REQUIRING ADDITIONAL ACTION.

The 81 Development Company, LLC  
The 81 on East Bay - PUD  
SOIL EROSION & SEDIMENTATION CONTROL PLAN  
Section 14, Town 29 North, Range 10 West  
Peninsula Twp., Grand Traverse County, Michigan

SCALE 1"=100'

DATE	10/05/14
PROJECT	14016
SHEET	C3.0

Unit Project 03/2014 - 4017 Mansfield, Michigan, LLC, 10/13/2014, 10:30 AM, 10/13/2014



830 Cottageview Dr., Ste. 201  
P.O. Box 4015  
Traverse City, MI 49685  
Phone: 231-946-9310  
www.mansfield.com  
info@mansfield.com

# Mansfield

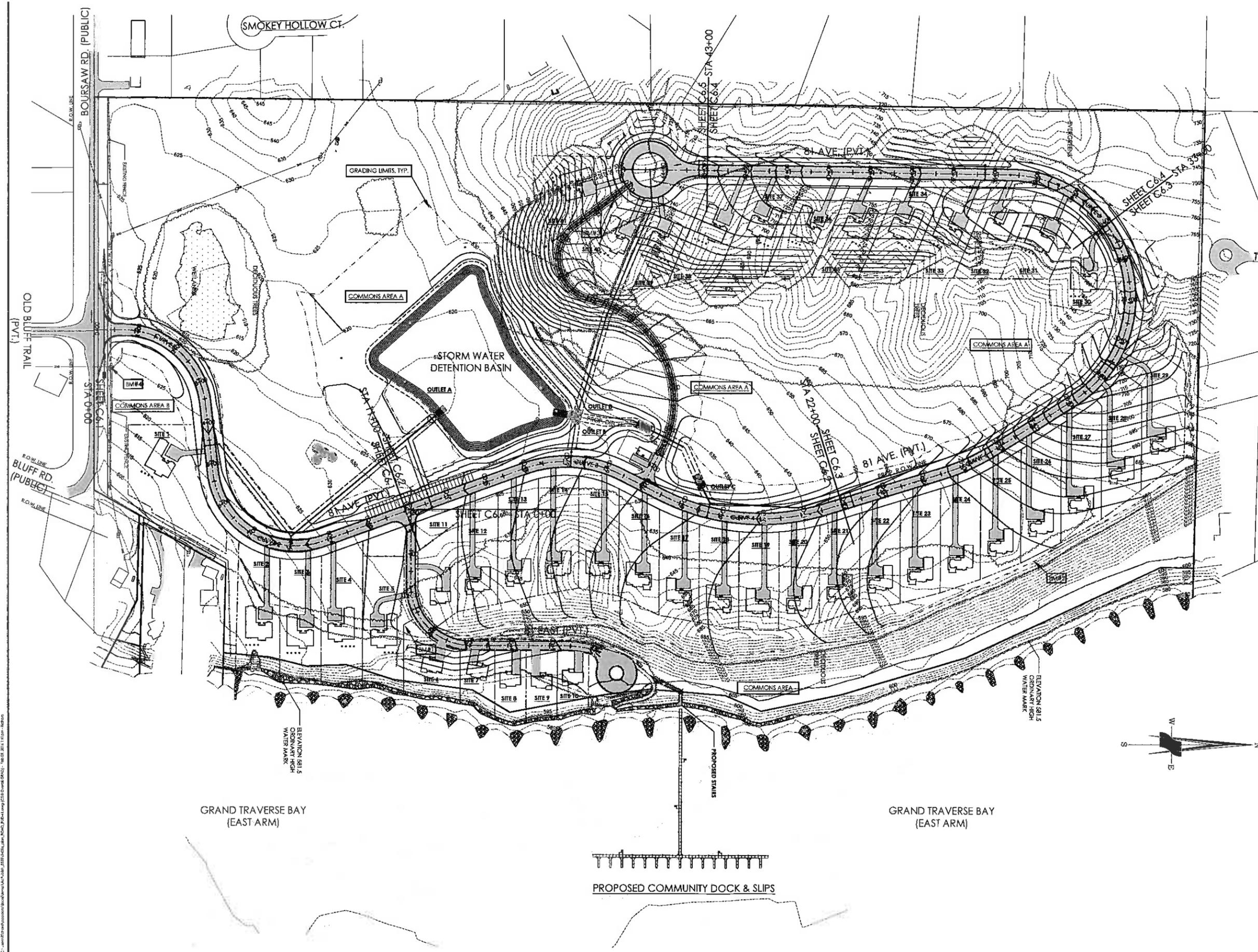
Land Use Consultants

REV.	DATE	BY	CHK	DESC.
13	07/05/15	dm	mm	Revised Easement Access
14	07/14/15	dm	mm	Alternate Emergency Access
15	07/27/15	dm	mm	Alternate Emergency Access
16	12/14/15	dm	mm	Commonwealth Building Layout
17	01/15/16	dm	mm	Water Storage Tank
18	01/08/16	dm	mm	Construction Plan Update
19	01/08/16	dm	mm	Open Space Calculation Update
20	02/02/16	dm	mm	Parcel A, Top, Supplement

The 81 Development Company, LLC  
The 81 on East Bay - PUD  
SITE & DIMENSION PLAN  
Section 14, Town 29 North, Range 10 West  
Peninsula Twp., Grand Traverse County, Michigan

CONSTRUCTION	
DATE:	dm
REV.:	dm
CREATED:	03.05.14
NO.:	14016
SCALE:	C4.0





BM#1: ELEV = 629.05 NAIL ROOT 48" MAPLE N 10752.2418 E 11264.4687
BM#2: ELEV = 674.52 NAIL ROOT 18" MAPLE N 12276.6579 E 11100.2573
BM#3: ELEV = 734.81 NAIL ROOT 20" TWIN OAK N 11258.6169 E 10247.1784
BM#4: ELEV = 624.38 NAVD88 SPIKE IN POWER POLE N 10054.5876 E 10649.0910

830 Congerway Dr., Ste. 201  
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Traverse City, MI 49985  
Phone: 231-946-9310  
www.mansfield.com  
info@mansfield.com

# Mansfield

Land Use Consultants

REV.	DATE	BY	CHK.	DESC.
13	07-09-15	dim	mm	Revised Emergency Access
14	07-14-15	dim	mm	Alternate Emergency Access
15	07-27-15	dim	mm	Alternate Emergency Access
16	12-14-15	dim	mm	Common/PS Specific field layout
17	01-08-16	dim	mm	Water Storage Tank
18	01-08-16	dim	mm	Construction Item Updates
19	01-08-16	dim	mm	Open Space Calculation Updates
20	02-09-16	dim	mm	Permit 3, top, bottom

The 81 Development Company, LLC  
The 81 on East Bay - PUD  
OVERALL GRADING PLAN  
Section 14, Town 29 North, Range 10 West  
Peninsula Twp., Grand Traverse County, Michigan

SCALE: 1"=100' H

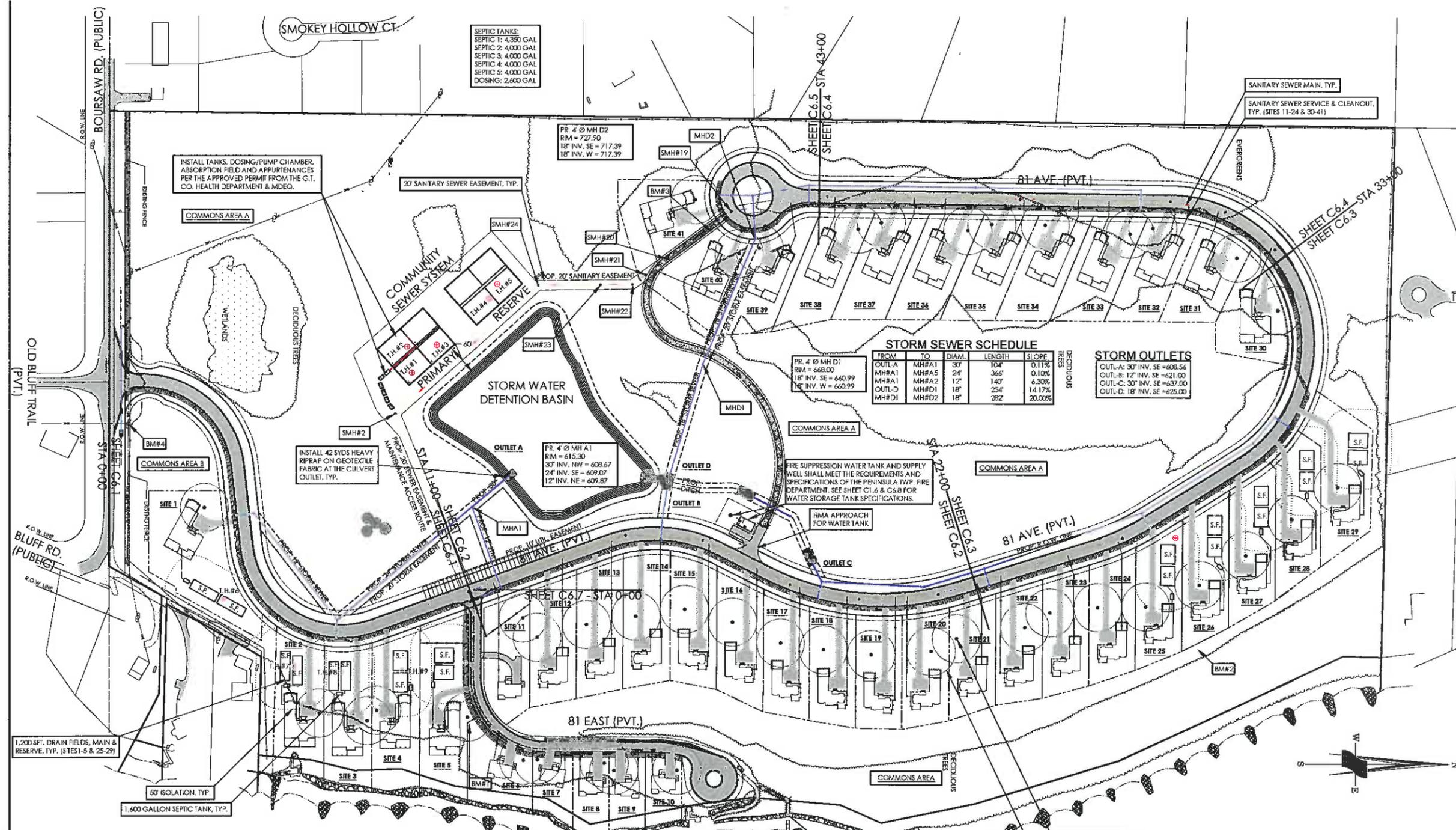
CONSTRUCTION

DATE: 03.05.14

14016

C5.0

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SEPTIC TANKS:  
 SEPTIC 1: 4,350 GAL  
 SEPTIC 2: 4,000 GAL  
 SEPTIC 3: 4,000 GAL  
 SEPTIC 4: 4,000 GAL  
 SEPTIC 5: 4,000 GAL  
 DOSING: 2,600 GAL

INSTALL TANKS, DOSING/PUMP CHAMBER, ABSORPTION FIELD AND APPURTENANCES PER THE APPROVED PERMIT FROM THE CO. HEALTH DEPARTMENT & MDEQ.

20' SANITARY SEWER EASEMENT, TYP.

PR. 4 @ MH D2  
 RM = 727.50  
 18" INV. SE = 717.39  
 18" INV. W = 717.39

SANITARY SEWER MAIN, TYP.

SANITARY SEWER SERVICE & CLEANOUT, TYP. (SITES 11-24 & 30-41)

BM#1: ELEV = 629.05  
 NAIL ROOT 48" MAPLE  
 N 10752.2418 E 11264.4687  
 BM#2: ELEV = 674.52  
 NAIL ROOT 18" MAPLE  
 N 12276.6579 E 11100.2573  
 BM#3: ELEV = 734.81  
 NAIL ROOT 20" TWIN OAK  
 N 11258.6169 E 11047.1784  
 BM#4: ELEV = 624.38 NAVD88  
 SPKE IN POWER POLE  
 N 10054.5878 E 10649.0910

**Mansfield**  
 Land Use Consultants

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 Traverse City, MI 49988  
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 info@mansfield.com

**STORM SEWER SCHEDULE**

FROM	TO	DIAM.	LENGTH	SLOPE	REMARKS
OUTL-A	MH#A1	30"	104'	0.11%	DECIDUOUS
MH#A1	MH#A2	24"	366'	0.10%	
MH#A1	MH#A2	12"	140'	6.30%	
OUTL-D	MH#D1	18"	254'	1.4.17%	
MH#D1	MH#D2	18"	282'	20.00%	

**STORM OUTLETS**

OUTL-A: 30" INV. SE = 608.56
OUTL-B: 12" INV. SE = 621.00
OUTL-C: 30" INV. SE = 637.00
OUTL-D: 18" INV. SE = 625.00

INSTALL 42 SYDS HEAVY RIPRAP ON GEOTEXTILE FABRIC AT THE CULVERT OUTLET, TYP.

PR. 4 @ MH A1  
 RM = 615.30  
 30" INV. NW = 608.67  
 24" INV. SE = 609.07  
 12" INV. NE = 609.87

MH#A1

OUTLET A

OUTLET B

OUTLET C

OUTLET D

MH#D1

MH#D2

**SOIL BORING LOGS: COMMUNITY**

TEST HOLE #	DEPTH	SOIL DESCRIPTION
TEST HOLE #1	0'-16"	(PRIMARY) SANDY LOAM TOPSOIL
	16'-102"	LOAMY SAND W/SANDY LOAM INCLUSIONS
		NO GROUND WATER
TEST HOLE #2	0'-12"	(PRIMARY) SANDY LOAM TOPSOIL
	12'-102"	LOAMY SAND W/SANDY LOAM INCLUSIONS
		NO GROUND WATER
TEST HOLE #3	0'-12"	(PRIMARY) SANDY LOAM TOPSOIL
	12'-30"	LOAMY SAND
	30'-80"	MEDIUM SAND
	80'-95"	SANDY LOAM
		NO GROUND WATER
TEST HOLE #4	0'-12"	(RESERVE) SANDY LOAM TOPSOIL
	12'-42"	LOAMY SAND
	42'-96"	SANDY LOAM W/CLAY LOAM INCLUSIONS
		NO GROUND WATER
TEST HOLE #5	0'-12"	(RESERVE) SANDY LOAM TOPSOIL
	12'-24"	LOAMY SAND
	24'-108"	SANDY LOAM
		NO GROUND WATER

**SOIL BORING LOGS: LOTS 1-4**

TEST HOLE #	DEPTH	SOIL DESCRIPTION
TEST HOLE #6	0'-10"	(LOT 1) SANDY LOAM TOPSOIL
	10'-16"	LOAMY SAND
	16'-96"	MEDIUM SAND
	96'-108"	CLAY
		NO GROUND WATER
TEST HOLE #7	0'-16"	(LOT 2) SANDY LOAM TOPSOIL
	16'-30"	LOAMY SAND
	30'-66"	MEDIUM SAND
	66'-78"	SANDY LOAM
	78'-102"	MEDIUM SAND
	102'-114"	SANDY LOAM
		NO GROUND WATER
TEST HOLE #8	0'-10"	(LOT 3) SANDY LOAM TOPSOIL
	10'-36"	LOAMY SAND
	36'-108"	SANDY LOAM
		NO GROUND WATER
TEST HOLE #9	0'-9"	(LOT 4) SANDY LOAM TOPSOIL
	9'-45"	LOAMY SAND
	45'-78"	SANDY LOAM
	78'-120"	COMPACTED SANDY LOAM
		NO GROUND WATER

**INFILTRATION STORM BASIN:**

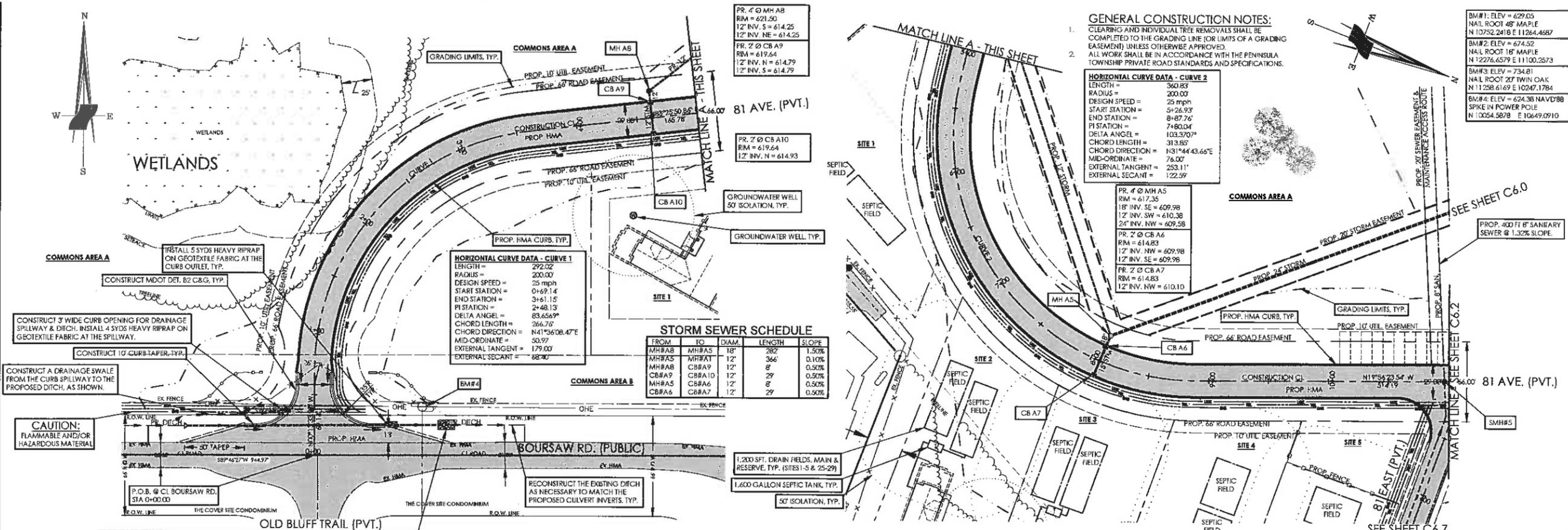
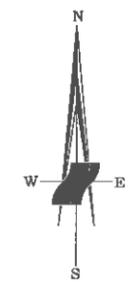
DRAINAGE AREA =	30.26 ACRES
DESIGN STORAGE VOLUME =	370,644 CF
DESIGN HIGH WATER LEVEL =	611.87
DESIGN BOTTOM ELEVATION =	608.00
DESIGN TOP ELEVATION =	613.00
DESIGN MAXIMUM DEPTH =	3.87 FT

**PROPOSED COMMUNITY DOCK & SLIPS**



The 81 Development Company, LLC  
 The 81 on East Bay - PUD  
 OVERALL UTILITY PLAN  
 Section 14, Town 29 North, Range 10 West  
 Peninsula Twp., Grand Traverse County, Michigan

SCALE: 1"=100' H  
 CONSTRUCTION  
 14016  
 C6.0



**GENERAL CONSTRUCTION NOTES:**  
 1. CLEARING AND INDIVIDUAL TREE REMOVALS SHALL BE COMPLETED TO THE GRADING LINE (OR LIMITS OF A GRADING EASEMENT) UNLESS OTHERWISE APPROVED.  
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE PENINSULA TOWNSHIP PRIVATE ROAD STANDARDS AND SPECIFICATIONS.

**HORIZONTAL CURVE DATA - CURVE 2**  
 LENGTH = 340.00'  
 RADIUS = 200.00'  
 DESIGN SPEED = 25 mph  
 START STATION = 5+26.93'  
 END STATION = 8+87.76'  
 P.I. STATION = 7+80.04'  
 DELTA ANGLE = 103.3707°  
 CHORD LENGTH = 313.65'  
 CHORD DIRECTION = N31°44'43.66"E  
 MID-ORDINATE = 76.00'  
 EXTERNAL TANGENT = 253.11'  
 EXTERNAL SECANT = 122.59'

**HORIZONTAL CURVE DATA - CURVE 1**  
 LENGTH = 292.02'  
 RADIUS = 200.00'  
 DESIGN SPEED = 25 mph  
 START STATION = 0+69.14'  
 END STATION = 3+61.15'  
 P.I. STATION = 21.4813'  
 DELTA ANGLE = 83.6569°  
 CHORD LENGTH = 266.76'  
 CHORD DIRECTION = N41°36'08.47"E  
 MID-ORDINATE = 50.97'  
 EXTERNAL TANGENT = 179.00'  
 EXTERNAL SECANT = 88.90'

**STORM SEWER SCHEDULE**

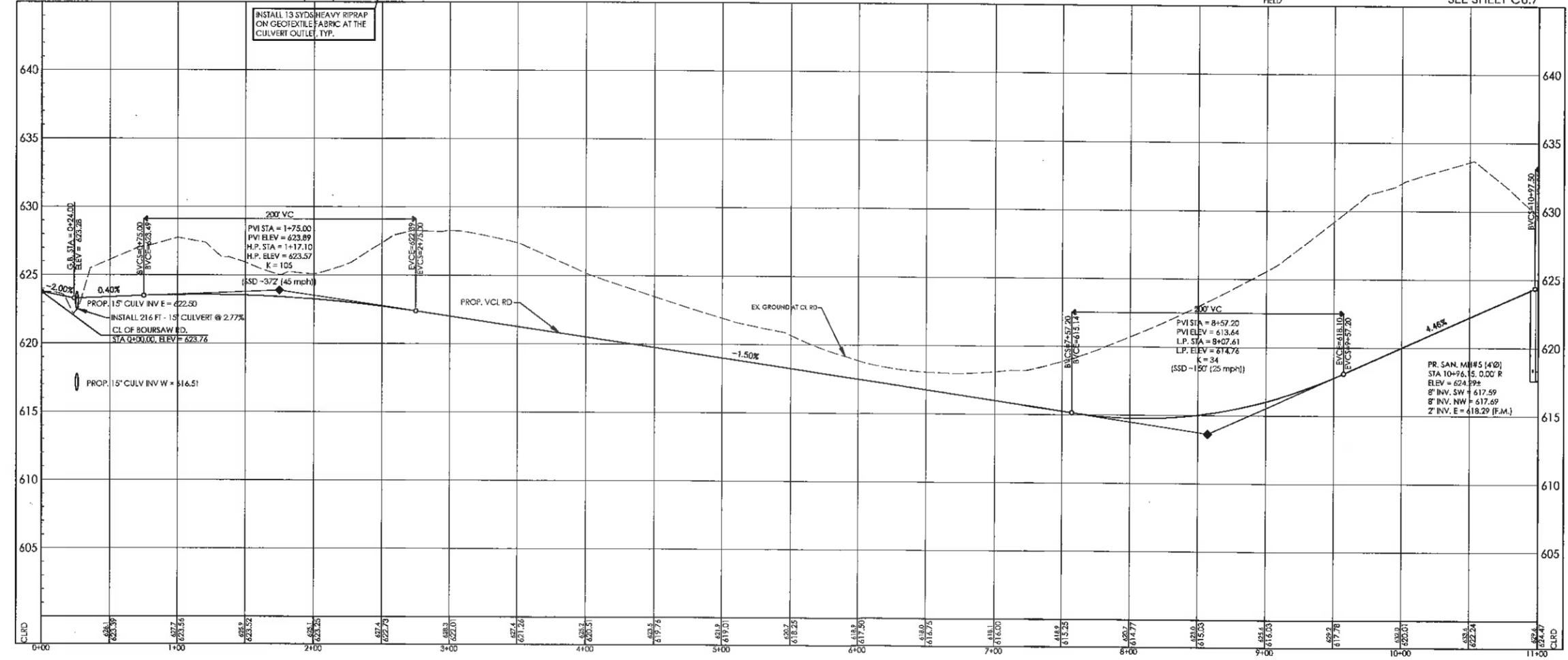
FROM	TO	DIAM.	LENGTH	SLOPE
MH#A8	MH#A5	18"	282'	1.50%
MH#A5	MH#A7	12"	366'	0.10%
MH#A8	CB#A9	12"	8'	0.50%
CB#A7	CB#A10	12"	29'	0.50%
MH#A5	CB#A6	12"	3'	0.50%
CB#A6	CB#A7	12"	29'	0.50%

BM#1: ELEV = 629.09  
 NAIL ROOT 48" MAPLE  
 N 10752.2418 E 11264.4687  
 BM#2: ELEV = 674.52  
 NAIL ROOT 18" MAPLE  
 N 12276.6579 E 11100.2573  
 BM#3: ELEV = 734.81  
 NAIL ROOT 20" TWIN OAK  
 N 11258.6169 E 10247.1784  
 BM#4: ELEV = 624.38 NAVD'88  
 SPIKE IN POWER POLE  
 N 10054.5878 E 10649.0910

830 Cottageview Dr., Ste. 201  
 P.O. Box 4015  
 Traverse City, MI 49685  
 Phone: 231-946-9810  
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**Mansfield**  
 Land Use Consultants

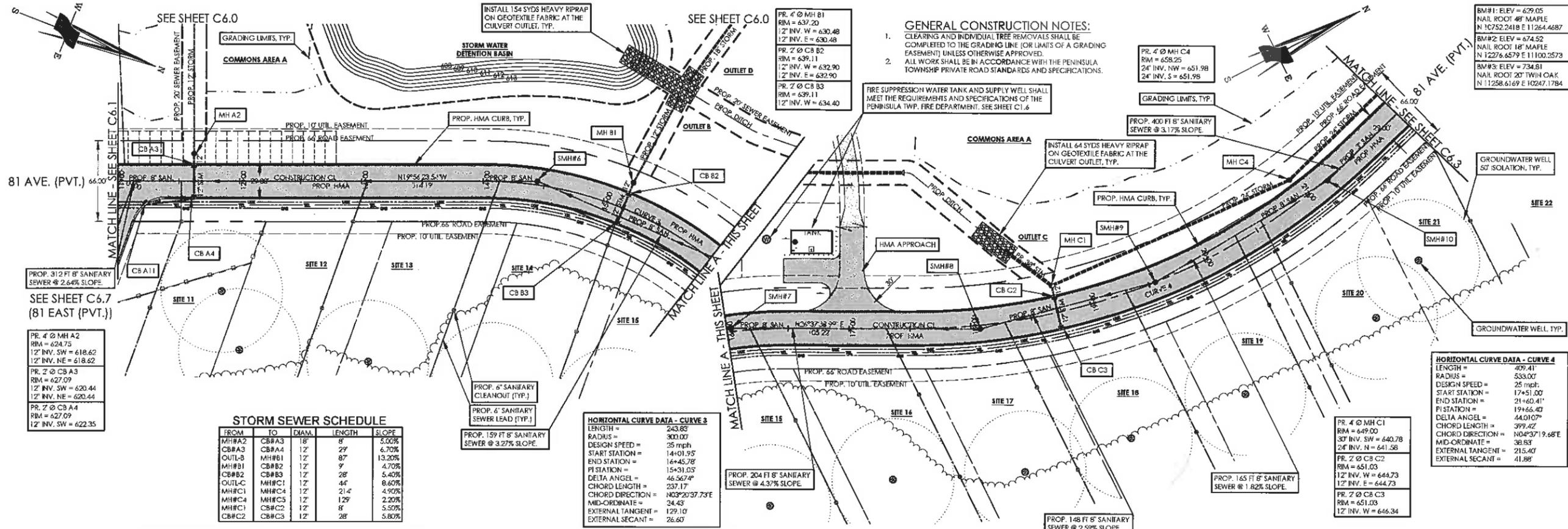
REV.	DATE	BY	CHKD.	DESCRIPTION
13	02/04/17	dm	mm	Issue Emergency Access
14	02/14/18	dm	mm	Alameda Emergency Access
15	02/27/18	dm	mm	Alameda Emergency Access
16	02/14/18	dm	mm	Commonwealth Emergency Access
17	01/18/18	dm	mm	Commonwealth Field Layout
18	01/18/18	dm	mm	Waste Storage Tank
19	01/26/18	dm	mm	Construction Plan Update
20	02/02/18	dm	mm	Open Space Calculation Updates
21	02/02/18	dm	mm	Permit E, Top, Stormwater



The 81 Development Company, LLC  
 The 81 on East Bay - PUD  
 81 AVE. - PLAN & PROFILE: P.O.B. TO STA 11+00  
 Section 14, Town 29 North, Range 10 West  
 Peninsula Twp., Grand Traverse County, Michigan

SCALE: 1"=40' H, 1"=4' V  
**CONSTRUCTION**  
 14016  
 C6.1

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**GENERAL CONSTRUCTION NOTES:**  
 1. CLEARING AND INDIVIDUAL TREE REMOVALS SHALL BE COMPLETED TO THE GRADING LINE (OR LIMITS OF A GRADING EASEMENT) UNLESS OTHERWISE APPROVED.  
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE PENINSULA TOWNSHIP PRIVATE ROAD STANDARDS AND SPECIFICATIONS.

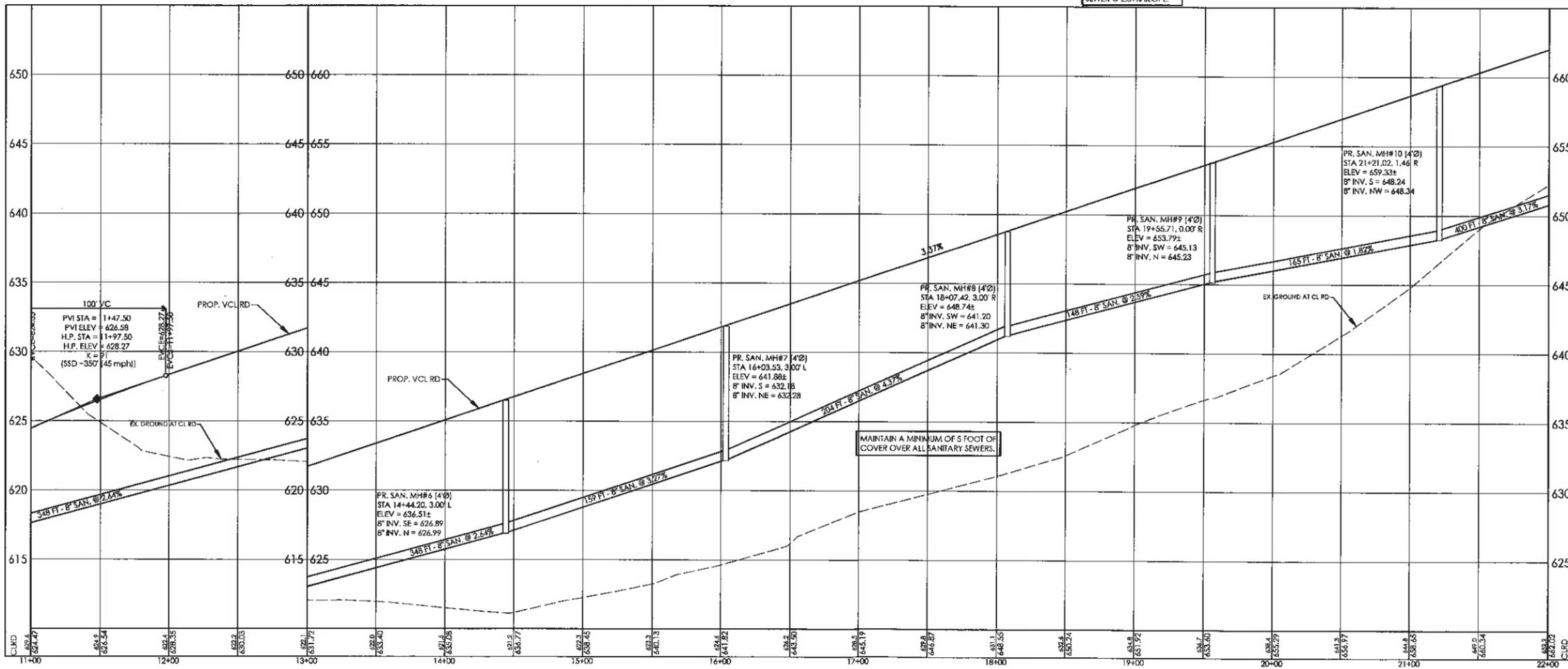
PR. 4" Ø MH A2  
 RIM = 624.75  
 12" INV. SW = 618.62  
 12" INV. NE = 618.62

**STORM SEWER SCHEDULE**

FROM	TO	DIAM.	LENGTH	SLOPE
MH#A2	CB#A3	18"	8'	5.00%
CB#A3	CB#A4	12"	29'	6.70%
OUTL-B	MH#B1	12"	87'	13.20%
CB#B2	CB#B3	12"	9'	4.70%
OUTL-C	MH#C1	12"	28'	5.40%
MH#C1	MH#C4	12"	44'	8.40%
MH#C4	MH#C5	12"	129'	2.20%
MH#C1	CB#C2	12"	8'	5.50%
CB#C2	CB#C3	12"	28'	5.80%

**HORIZONTAL CURVE DATA - CURVE 3**  
 LENGTH = 243.85'  
 RADIUS = 303.00'  
 DESIGN SPEED = 35 mph  
 START STATION = 14+01.95'  
 END STATION = 14+45.78'  
 PI STATION = 15+31.03'  
 DELTA ANGLE = 46.5674°  
 CHORD LENGTH = 237.17'  
 CHORD DIRECTION = N03°20'37.73"E  
 MID-ORDINATE = 24.43'  
 EXTERNAL TANGENT = 129.10'  
 EXTERNAL SECANT = 26.60'

**HORIZONTAL CURVE DATA - CURVE 4**  
 LENGTH = 409.41'  
 RADIUS = 533.00'  
 DESIGN SPEED = 25 mph  
 START STATION = 17+51.00'  
 END STATION = 21+60.41'  
 PI STATION = 19+66.40'  
 DELTA ANGLE = 34.0107°  
 CHORD LENGTH = 399.42'  
 CHORD DIRECTION = N04°37'19.68"E  
 MID-ORDINATE = 38.83'  
 EXTERNAL TANGENT = 215.40'  
 EXTERNAL SECANT = 41.88'



BM#1: ELEV = 629.05  
 NAIL ROOT 48" MAPLE  
 N 10752.2418 E 11264.4687

BM#2: ELEV = 674.52  
 NAIL ROOT 18" MAPLE  
 N 12276.6579 E 11100.2573

BM#3: ELEV = 734.81  
 NAIL ROOT 20" WHITE OAK  
 N 11258.6189 E 10247.1784

830 Congerwood Dr. Ste. 201  
 P.O. Box 4015  
 Traverse City, MI 49785  
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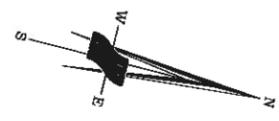
**Mansfield**  
 Land Use Consultants

REV	DATE	BY	CHK	DESCRIPTION
13	07/06/15	dim	dim	Revised Easement Access
14	07/14/15	dim	dim	Alternate Easement Access
15	07/27/15	dim	dim	Alternate Easement Access
16	12/14/15	dim	dim	Commonwealth Field Layout
17	01/19/16	dim	dim	Write Storage Tank
18	01/28/16	dim	dim	Construction Plan Update
19	01/28/16	dim	dim	Open Base Calculation Update
20	05/27/16	dim	dim	Permit & Log. Update

The 81 Development Company, LLC  
 The 81 on East Bay - PUD  
 Section 14, PLAN & PROFILE: STA 11+00 TO STA 22+00  
 Peninsula Twp., Grand Traverse County, Michigan

SCALE: 1"=40' H, 1"=4' V  
**CONSTRUCTION**  
 DATE: 03.05.14  
 SHEET: 14016  
 OF: C6.2

PR. 4" Ø MH C5
R/A = 661.10
24" INV. SE = 654.85
18" INV. NW = 655.25
PR. 2" Ø CB C6
R/M = 663.00
12" INV. SW = 656.39
12" INV. NE = 656.39
PR. 2" Ø CB C7
R/M = 663.00
12" INV. SW = 658.29



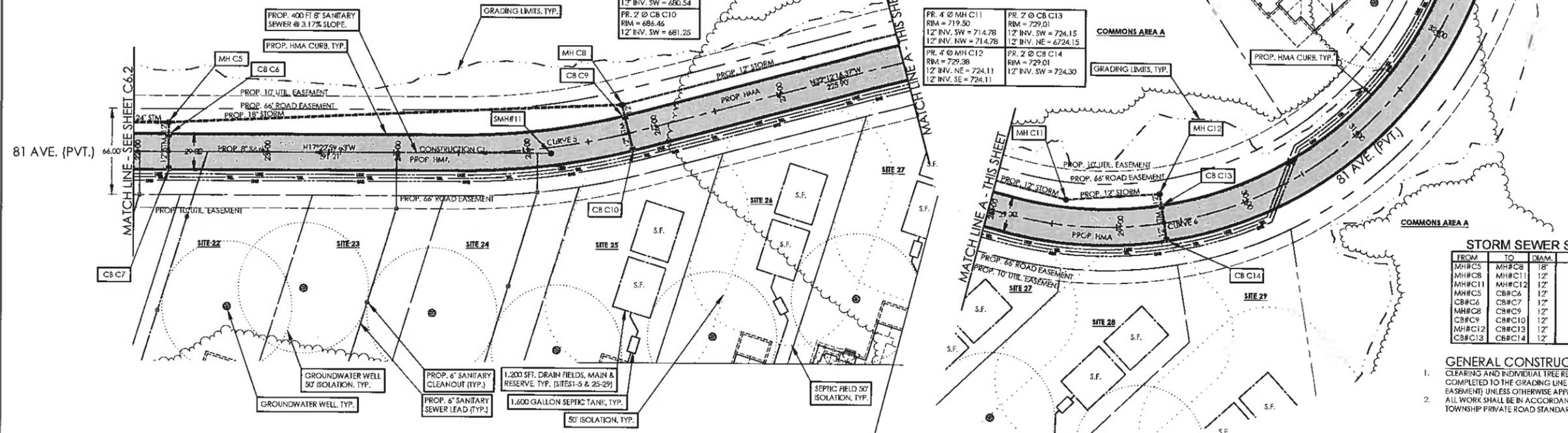
HORIZONTAL CURVE DATA - CURVE 5	
LENGTH =	137.88'
RADIUS =	533.00'
DESIGN SPEED =	25 mph
START STATION =	24+51.62'
END STATION =	25+89.50'
PI STATION =	25+20.95'
DELTA ANGLE =	14.8213°
CHORD LENGTH =	137.49'
CHORD DIRECTION =	N24°47'38.00"W
MID-ORDINATE =	4.45'
EXTERNAL TANGENT =	69.33'
EXTERNAL SECANT =	4.49'

PR. 4" Ø MH C8
R/M = 685.25
12" INV. NW = 680.29
18" INV. SE = 679.89
PR. 2" Ø CB C9
R/M = 686.46
12" INV. NE = 680.54
12" INV. SW = 680.54
PR. 2" Ø CB C10
R/M = 686.46
12" INV. SW = 681.25

HORIZONTAL CURVE DATA - CURVE 6	
LENGTH =	755.06'
RADIUS =	293.58'
DESIGN SPEED =	25 mph
START STATION =	28+15.40'
END STATION =	35+70.46'
PI STATION =	38+17.98'
DELTA ANGLE =	147.3568°
CHORD LENGTH =	563.5'
CHORD DIRECTION =	S74°07'01.36"W
MID-ORDINATE =	211.08'
EXTERNAL TANGENT =	1002.88'
EXTERNAL SECANT =	751.10'

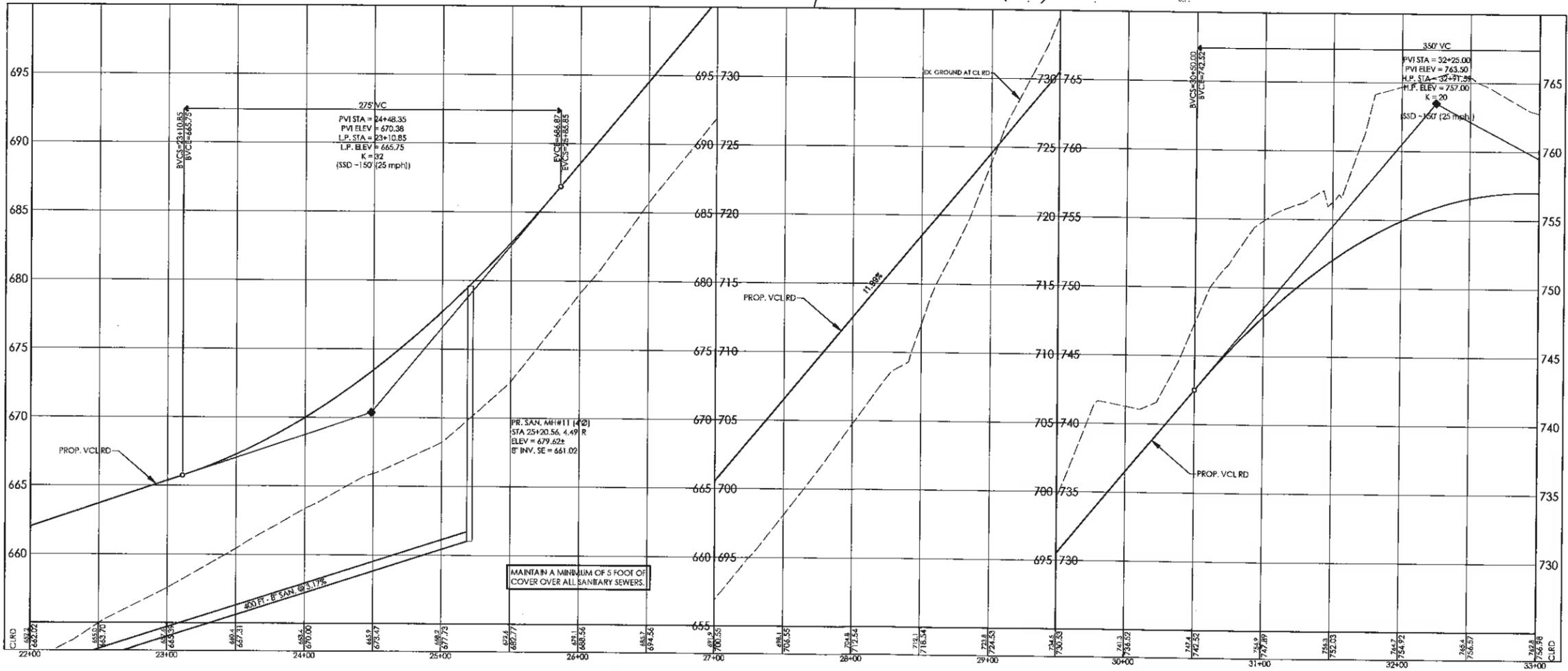
PR. 4" Ø MH C11
R/M = 719.50
12" INV. SW = 714.78
12" INV. NW = 714.78
PR. 2" Ø CB C13
R/M = 729.01
12" INV. SW = 724.15
12" INV. NE = 724.15
PR. 4" Ø MH C12
R/M = 729.38
12" INV. NE = 724.11
12" INV. SE = 724.11
PR. 2" Ø CB C14
R/M = 729.01
12" INV. SW = 724.30

BM#1: ELEV = 629.05
NAIL ROOT 48" MAPLE
N 107°52'24"E 11264.4687'
BM#2: ELEV = 674.52
NAIL ROOT 18" MAPLE
N 122°6'65.79"E 11100.2573'
BM#3: ELEV = 734.81
NAIL ROOT 20" TWIN OAK
N 112°58'16.9"E 10247.1784'



STORM SEWER SCHEDULE				
FROM	TO	DIAM.	LENGTH	SLOPE
MH#C5	MH#C8	18"	348'	0.71%
MH#C8	MH#C11	12"	274'	12.60%
MH#C11	MH#C12	12"	72'	13.00%
MH#C5	CB#C6	12"	6'	5.10%
CB#C6	CB#C7	12"	29'	5.30%
MH#C8	CB#C9	12"	8'	3.20%
CB#C9	CB#C10	12"	29'	3.40%
MH#C12	CB#C13	12"	8'	0.50%
CB#C13	CB#C14	12"	29'	0.50%

- GENERAL CONSTRUCTION NOTES:**
- CLEARING AND INDIVIDUAL TREE REMOVALS SHALL BE COMPLETED TO THE GRADING LINE (OR LIMITS OF A GRADING EASEMENT) UNLESS OTHERWISE APPROVED.
  - ALL WORK SHALL BE IN ACCORDANCE WITH THE PENINSULA TOWNSHIP PRIVATE ROAD STANDARDS AND SPECIFICATIONS.



MAINTAIN A MINIMUM OF 5 FOOT OF COVER OVER ALL SANITARY SEWERS.

830 Compuview Dr., Ste. 201  
 Traverse City, MI 49685  
 Phone: 231-946-9310  
 www.mansfield.com  
 info@mansfield.com

# Mansfield

Land Use Consultants

NO.	DATE	BY	DESCRIPTION
13	02/26/13	dim	Revised Emergency Access
14	07/14/13	dim	Alternate Emergency Access
15	02/27/13	dim	Alternate Emergency Access
16	12/11/13	dim	Community Maple Field Layout
17	01/16/14	dim	Waste Storage Bank
18	01/24/14	dim	Construction Plan Updates
19	01/28/14	dim	Open Space Construction Updates
20	02/02/14	dim	Final & Vets. Submittals

The 81 Development Company, LLC  
 The 81 on East Bay - PUD  
 81 AVE. - PLAN & PROFILE: STA 22+00 TO STA 33+00  
 Section 14, Town 29 North, Range 10 West  
 Peninsula Twp., Grand Traverse County, Michigan

SCALE: 1"=40' H, 1"=4' V

CONSTRUCTION

14016

C6.3

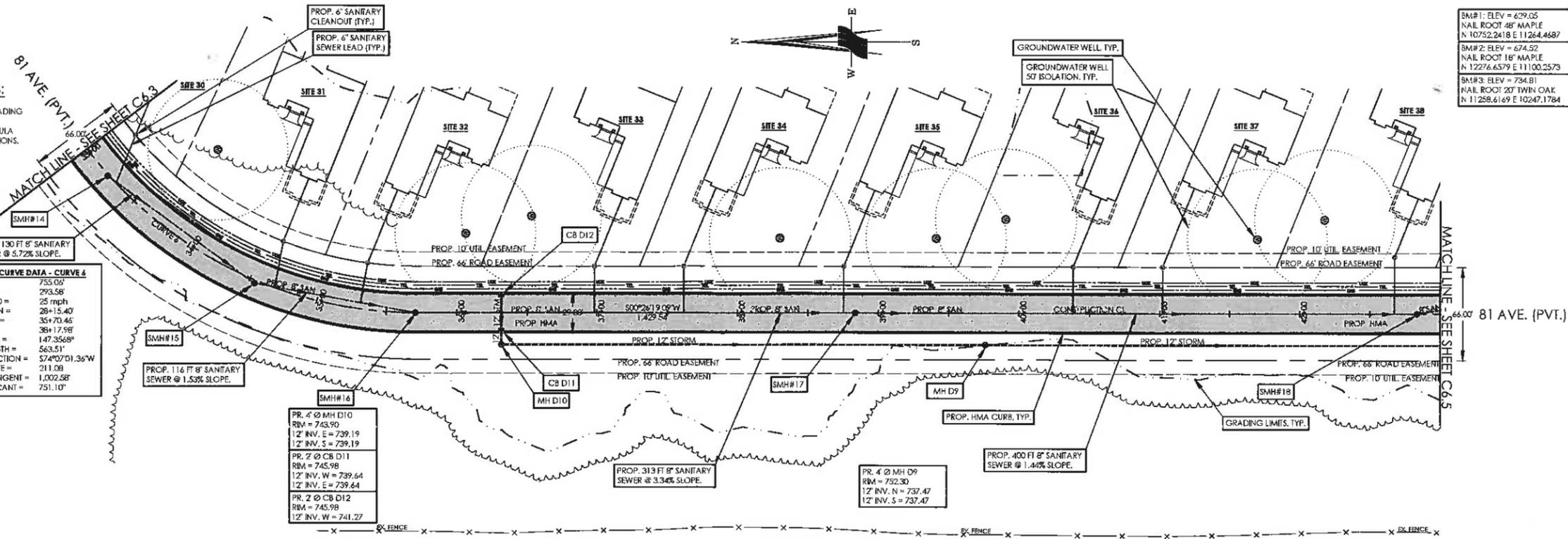
C:\Users\mccormack\OneDrive\Documents\81 On East Bay\81 On East Bay\81 On East Bay\81 On East Bay.dwg (C6.3) - Rev. 03/14/2014 (1:02:09)

**GENERAL CONSTRUCTION NOTES:**  
 1. CLEARING AND INDIVIDUAL TREE REMOVALS SHALL BE COMPLETED TO THE GRADING LINE FOR LIMITS OF A GRADING EASEMENT UNLESS OTHERWISE APPROVED.  
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE PENINSULA TOWNSHIP PRIVATE ROAD STANDARDS AND SPECIFICATIONS.

**HORIZONTAL CURVE DATA - CURVE 4**

LENGTH =	753.03'
RADIUS =	293.58'
DESIGN SPEED =	25 mph
START STATION =	28+15.40
END STATION =	35+70.46
PI STATION =	38+17.98
DELTA ANGLE =	147.3568°
CHORD LENGTH =	563.51'
CHORD DIRECTION =	S74°07'01.36"W
MID-ORDINATE =	211.08'
EXTERNAL TANGENT =	1,002.58'
EXTERNAL SECANT =	751.10'

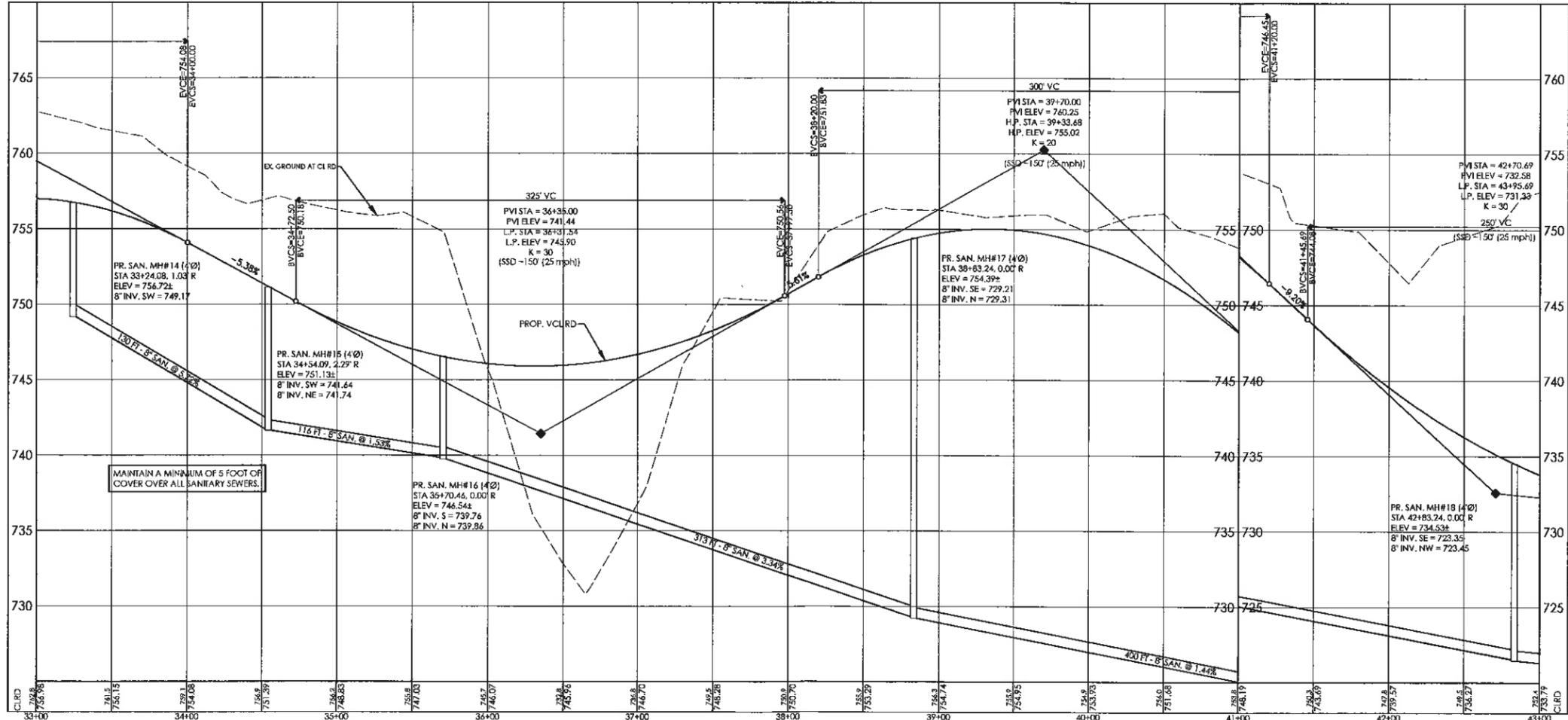
PR. 4" Ø MH D10	RIM = 743.90
12" INV. E =	739.19
12" INV. S =	739.19
PR. 2" Ø CB D11	RIM = 745.98
12" INV. W =	739.64
12" INV. E =	739.64
PR. 2" Ø CB D12	RIM = 745.98
12" INV. W =	741.27



BM#1: ELEV = 629.05
NAIL ROOT 48" MAPLE
N 10752.2418 E 11264.4687
BM#2: ELEV = 674.52
NAIL ROOT 16" MAPLE
N 12276.6579 E 11100.2573
BM#3: ELEV = 734.81
NAIL ROOT 30" TWIN OAK
N 11258.6149 E 10247.1784

**Mansfield**  
 Land Use Consultants

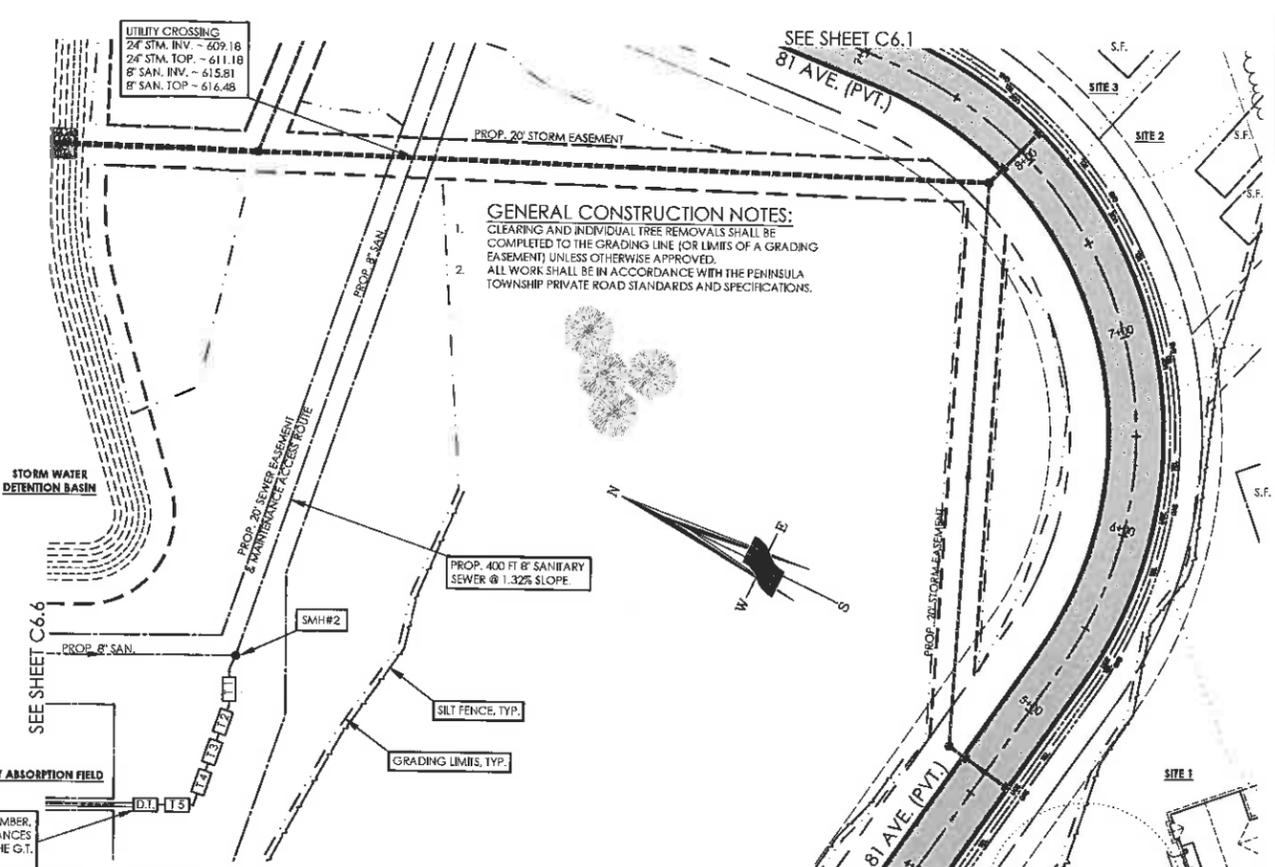
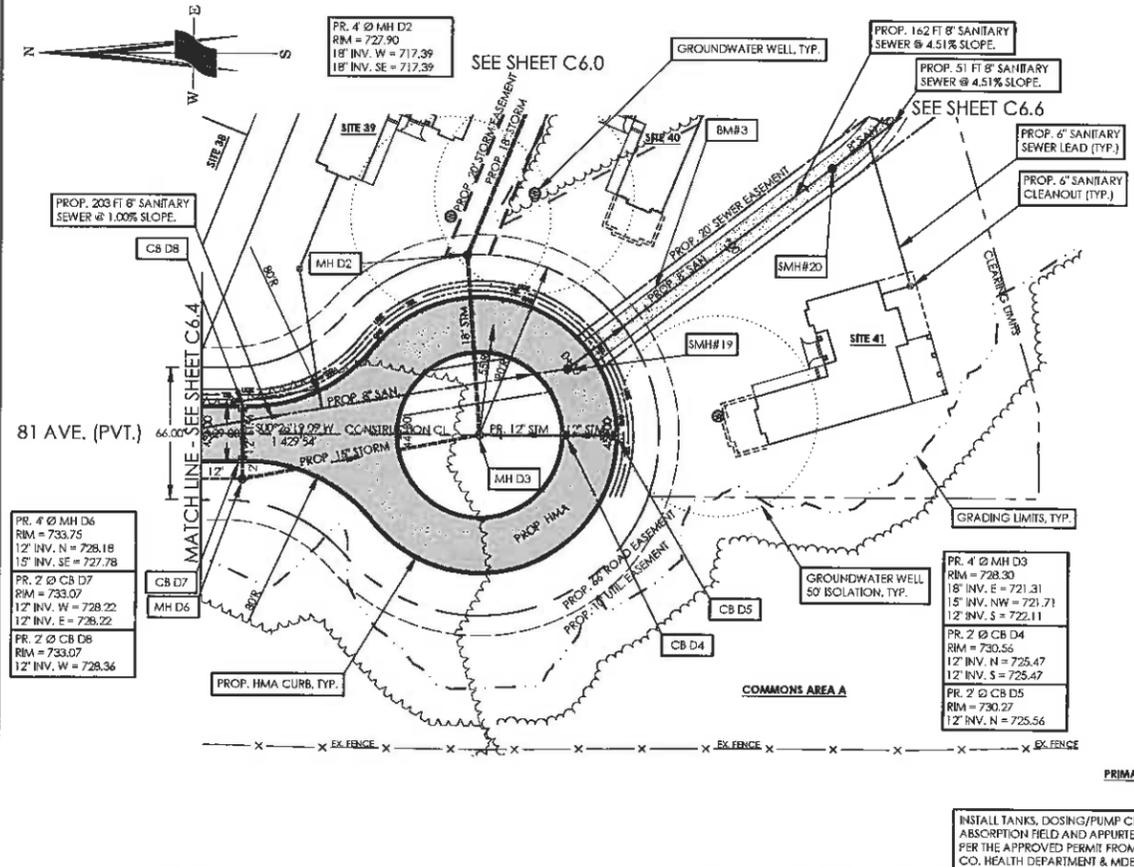
REV	DATE	BY	CHK	DESCRIPTION
13	12/06/15	dm	dm	Revised Emergency Access
14	12/14/15	dm	dm	Alternate Emergency Access
15	12/22/15	dm	dm	Alternate Emergency Access
16	1/13/16	dm	dm	Community Traffic Field Layout
17	1/19/16	dm	dm	Water Storage Tank
18	1/26/16	dm	dm	Construction Plan Update
19	1/26/16	dm	dm	Open House Calculation Update
20	1/26/16	dm	dm	Final E. Top. Submittal



The 81 Development Company, LLC  
 The 81 on East Bay - PUD  
 Section 14, Town 29 North, Range 10 West  
 Peninsula Twp., Grand Traverse County, Michigan

SCALE 1"=40' H, 1"=4' V  
**CONSTRUCTION**  
 14016  
 C6.4

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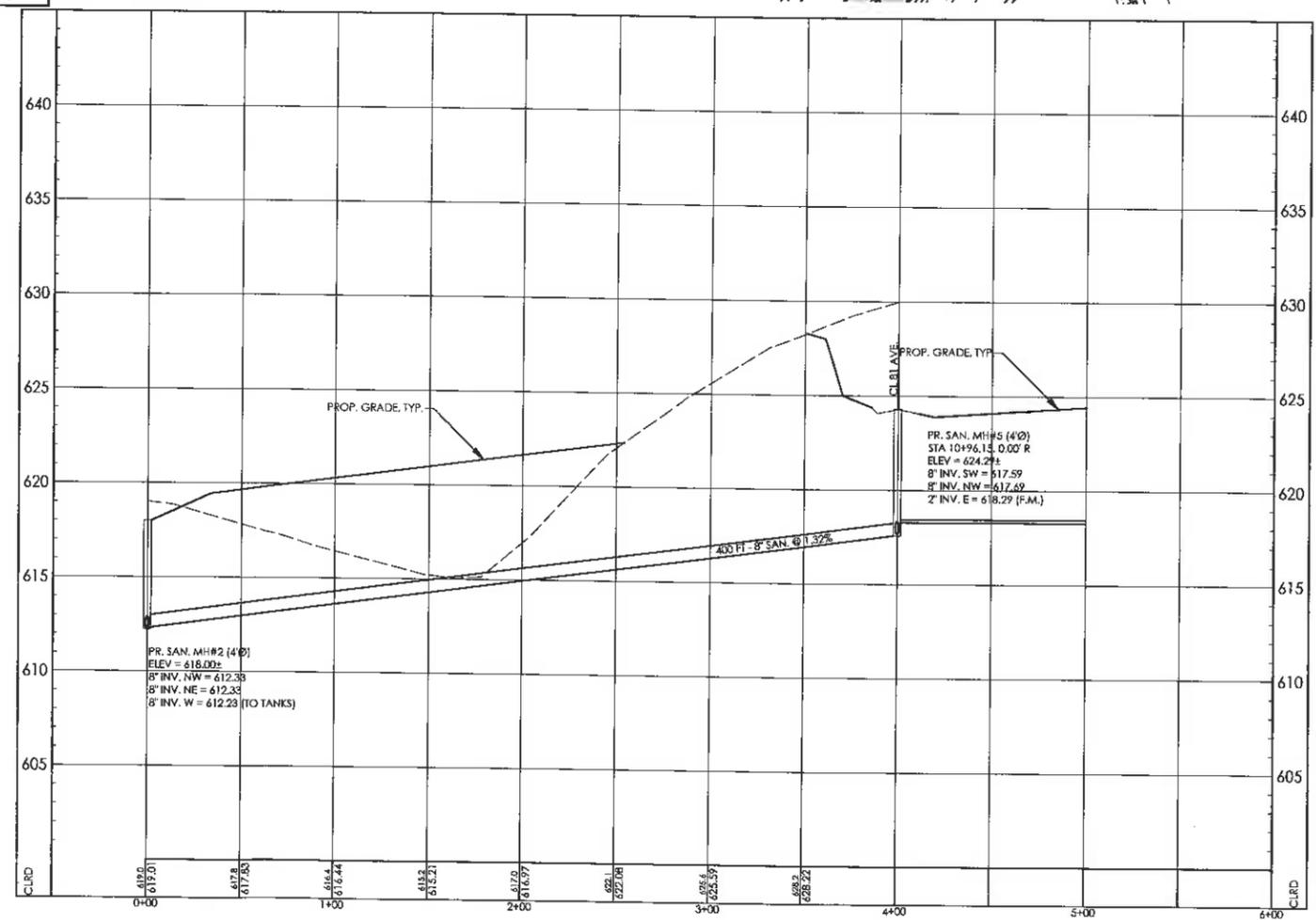
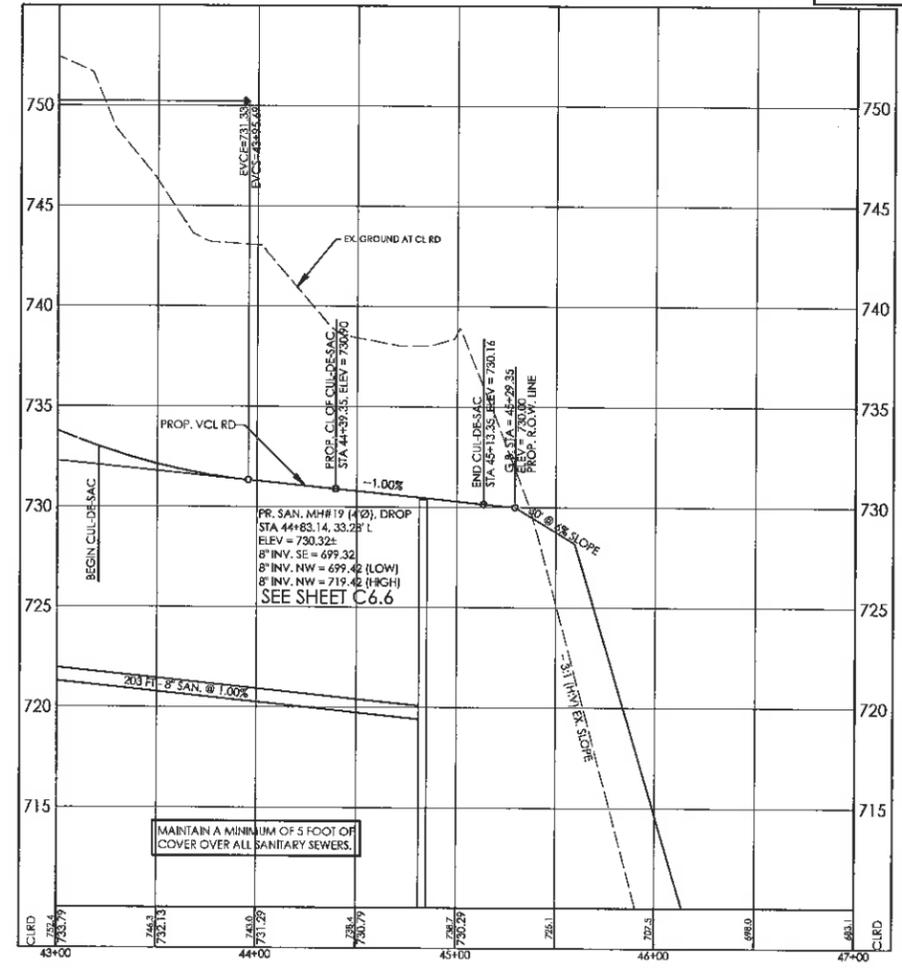
BM#1: ELEV = 629.05 NAIL ROOT 48" MAPLE N 10752.2418 E 11264.4687
BM#2: ELEV = 674.52 NAIL ROOT 18" MAPLE N 12276.6579 E 11100.2573
BM#3: ELEV = 734.81 NAIL ROOT 20" TWIN OAK N 11258.6169 E 10247.1784

**GENERAL CONSTRUCTION NOTES:**  
 1. CLEARING AND INDIVIDUAL TREE REMOVALS SHALL BE COMPLETED TO THE GRADING LINE (OR LIMITS OF A GRADING EASEMENT) UNLESS OTHERWISE APPROVED.  
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE PENINSULA TOWNSHIP PRIVATE ROAD STANDARDS AND SPECIFICATIONS.

PR. 4" Ø MH D6 RIM = 733.75 12" INV. N = 728.18 15" INV. SE = 727.78
PR. 2" Ø CB D7 RIM = 733.07 12" INV. W = 728.22 12" INV. E = 728.22
PR. 2" Ø CB D8 RIM = 733.07 12" INV. W = 728.36

PR. 4" Ø MH D3 RIM = 728.30 18" INV. E = 721.31 15" INV. NW = 721.71 12" INV. S = 722.11
PR. 2" Ø CB D4 RIM = 730.56 12" INV. N = 725.47 12" INV. S = 725.47
PR. 2" Ø CB D5 RIM = 730.27 12" INV. N = 725.56

INSTALL TANKS, DOSING/PUMP CHAMBER, ABSORPTION FIELD AND APPURTENANCES PER THE APPROVED PERMIT FROM THE G.T. CO. HEALTH DEPARTMENT & MDEQ.



830 Congerway Dr., Ste. 201  
P.O. Box 4015  
Traverse City, MI 49685  
Phone: 231-946-9310  
www.mansfield.com  
info@mansfield.com

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 Land Use Consultants

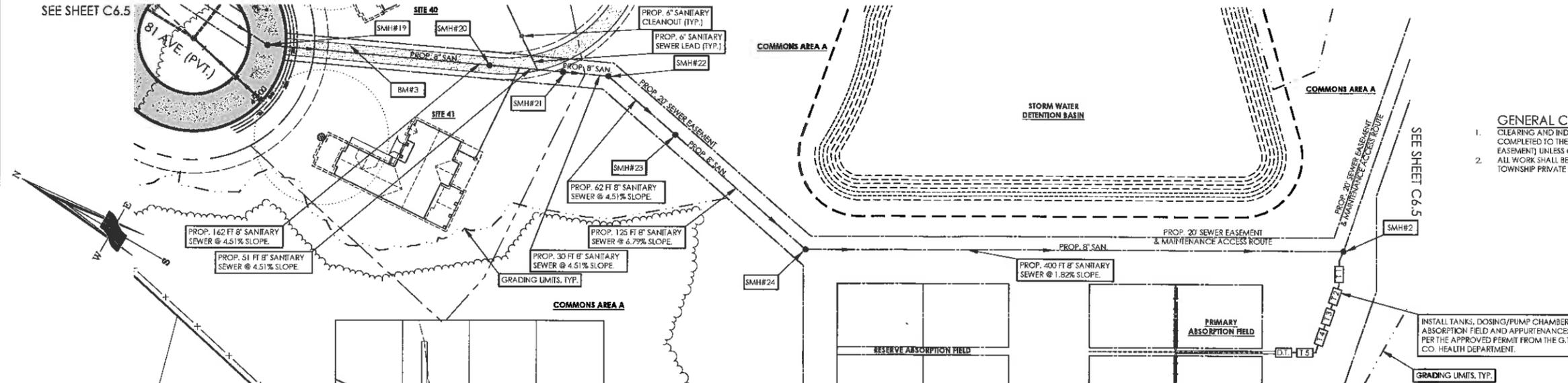
DATE	BY	CHK	REV	DESCRIPTION
10/10/2013	dm	dm	1	Issue Emergency Access
11/07/2013	dm	dm	2	Alternate Emergency Access
11/07/2013	dm	dm	3	Alternate Emergency Access
11/12/2013	dm	dm	4	Community Impact Field Layout
11/12/2013	dm	dm	5	Water Storage Tank
11/12/2013	dm	dm	6	Construction Plan Updates
11/12/2013	dm	dm	7	Open Space Calculation Updates
11/12/2013	dm	dm	8	Storm & Road Stormwater

The 81 Development Company, LLC  
 The 81 on East Bay - PUD  
 81 AVE. - PLAN & PROFILE: STA 43+00 TO P.O.E.  
 Section 14, Town 29 North, Range 10 West  
 Peninsula Twp., Grand Traverse County, Michigan

SCALE: 1"=40' H, 1"=4' V

CONSTRUCTION
14016
C6.5

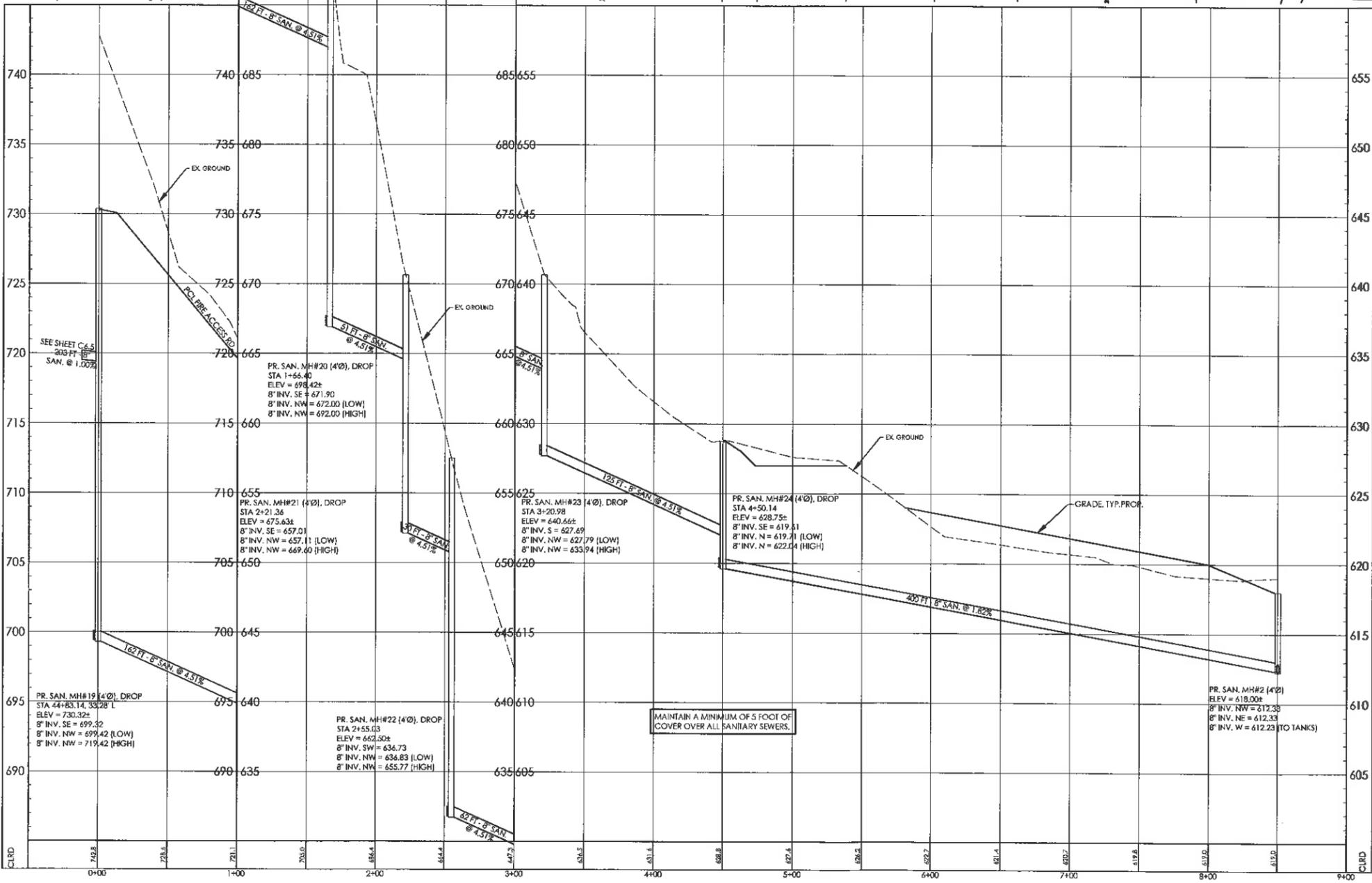
SEE SHEET C6.5



BM#1: ELEV = 629.05 NAIL ROOT 48" MAPLE N 10752.2418 E 11264.4687
BM#2: ELEV = 674.52 NAIL ROOT 16" MAPLE N 2274.6579 E 11100.2573
BM#3: ELEV = 734.81 NAIL ROOT 20" TWIN OAK N 11258.6149 E 10247.1784

- GENERAL CONSTRUCTION NOTES:**
- CLEARING AND INDIVIDUAL TREE REMOVALS SHALL BE COMPLETED TO THE GRADING LINE (OR LIMITS OF A GRADING EASEMENT) UNLESS OTHERWISE APPROVED.
  - ALL WORK SHALL BE IN ACCORDANCE WITH THE PENNSILVANIA TOWNSHIP PRIVATE ROAD STANDARDS AND SPECIFICATIONS.

INSTALL TANKS, DOSING/PUMP CHAMBER, ABSORPTION FIELD AND APPURTENANCES PER THE APPROVED PERMIT FROM THE G.T. CO. HEALTH DEPARTMENT.



MAINTAIN A MINIMUM OF 5 FOOT OF COVER OVER ALL SANITARY SEWERS.

**Mansfield**  
Land Use Consultants

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P.O. Box 4015  
Traverse City, MI 49685  
Phone: 231-946-9310  
www.mansfieldpa.com  
info@mansfieldpa.com

REV.	DATE	BY	CHK.	DESCRIPTION
13	07-26-13	dm	dm	Revised Easement Access
14	07-26-13	dm	dm	Address Emergency Access
15	07-26-13	dm	dm	Address Emergency Access
16	12-14-13	dm	dm	Community Specific Field Layout
17	01-16-14	dm	dm	Water Storage Tank
18	01-26-14	dm	dm	Construction Plan Updates
19	01-26-14	dm	dm	Open House Calculation Updates
20	02-27-14	dm	dm	Permit & Submittal

The 81 Development Company, LLC  
The 81 on East Bay - PUD  
**COMMONS AREA A - SANITARY PLAN & PROFILE**  
Section 14, Town 29 North, Range 10 West  
Peninsula Twp., Grand Traverse County, Michigan

SCALE: 1"=40' H, 1"=4' V

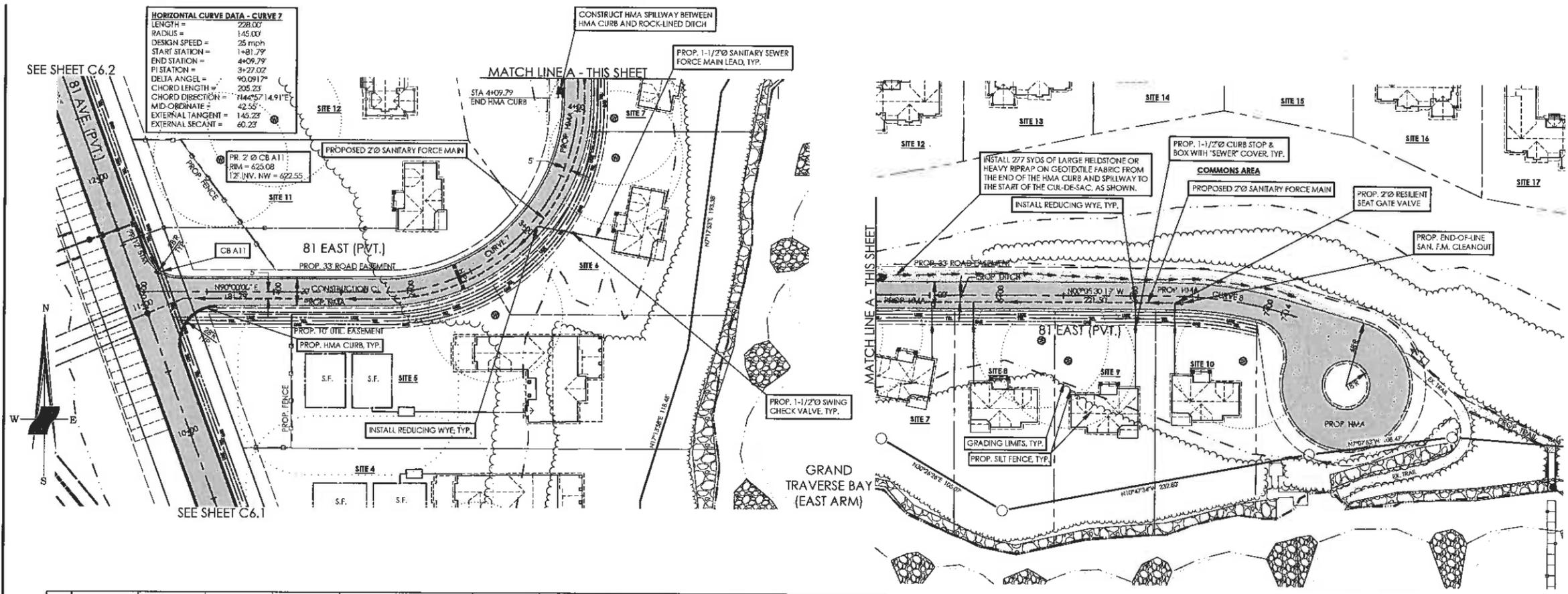
**CONSTRUCTION**

DATE: 03.05.14

14016

C6.6

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BM#1: ELEV = 629.05  
 NAIL ROOT 48" MAPLE  
 N 10752.2418 E 11264.4687

BM#2: ELEV = 674.52  
 NAIL ROOT 18" MAPLE  
 N 12276.6579 E 11100.2573

BM#3: ELEV = 734.81  
 NAIL ROOT 20" TWIN OAK  
 N 11258.6169 E 10247.1784

BM#4: ELEV = 624.38 NAVD'88  
 SPIKE IN POWER POLE  
 N 10054.5878 E 10649.0910

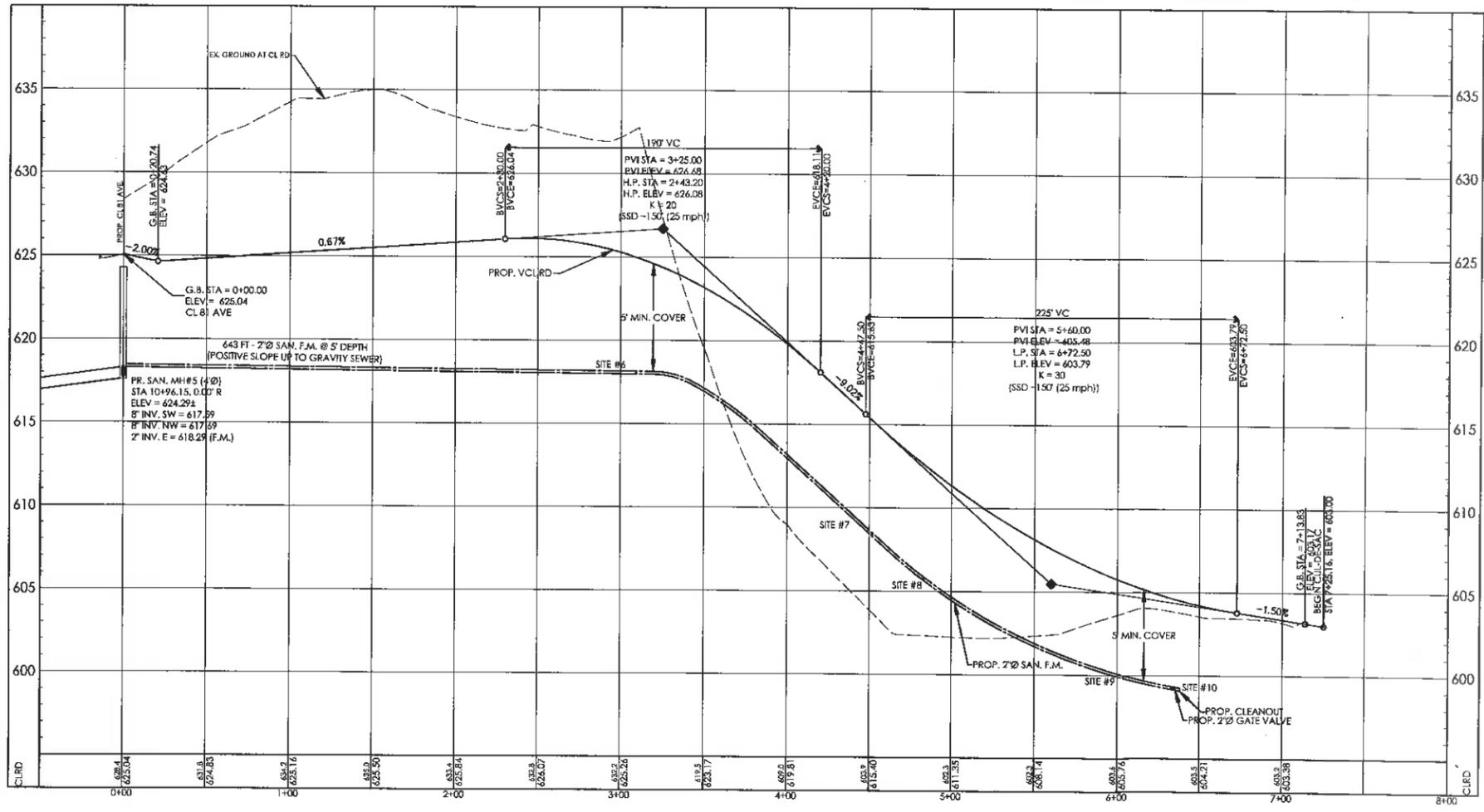
**HORIZONTAL CURVE DATA - CURVE 8**

LENGTH =	82.53'
RADIUS =	292.00'
DESIGN SPEED =	25 mph
START STATION =	6+31.28'
END STATION =	7+13.83'
PI STATION =	6+72.83'
DELTA ANGLE =	16.1970°
CHORD LENGTH =	82.27'
CHORD DIRECTION =	N08°00'24.48"E
MID-ORDINATE =	2.91'
EXTERNAL TANGENT =	41.55'
EXTERNAL SECANT =	2.94'

**Mansfield**  
 Land Use Consultants

REV	DATE	BY	CHK	DESC
11	07/24/13	mm	mm	Issue Emergency Access
14	07/24/13	mm	mm	Address Emergency Access
15	07/27/13	mm	mm	Address Emergency Access
16	07/27/13	mm	mm	Commonly Used Field Layout
17	07/27/13	mm	mm	Water Storage Tank
18	07/28/13	mm	mm	Construction Plan Updates
19	07/28/13	mm	mm	Open Base Calculations Updates
20	08/01/13	mm	mm	Final 3.00' 3.00' 3.00' 3.00'

- GENERAL CONSTRUCTION NOTES:**
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The 81 Development Company, LLC  
 The 81 on East Bay - PUD  
**THE 81 EAST - PLAN & PROFILE: P.O.B. TO P.O.E.**  
 Section 14, Town 29 North, Range 10 West  
 Peninsula Twp., Grand Traverse County, Michigan

PROVIDE & INSTALL TWO PARKING-FIRE LANE SIGNS AT EACH GATE AND ALONG THE FIRE LANE ROUTE AS REQUIRED BY THE PENINSULA TWP. FIRE CHIEF (TYP.).

INSTALL FIRE LANE ACCESS GATE, 22'-WIDE (MIN.) OPENING, LOCKABLE, GALVANIZED DOUBLE SWING GATE AT R.O.W.

20'-WIDE EASEMENT FOR FIRE ACCESS ROUTE

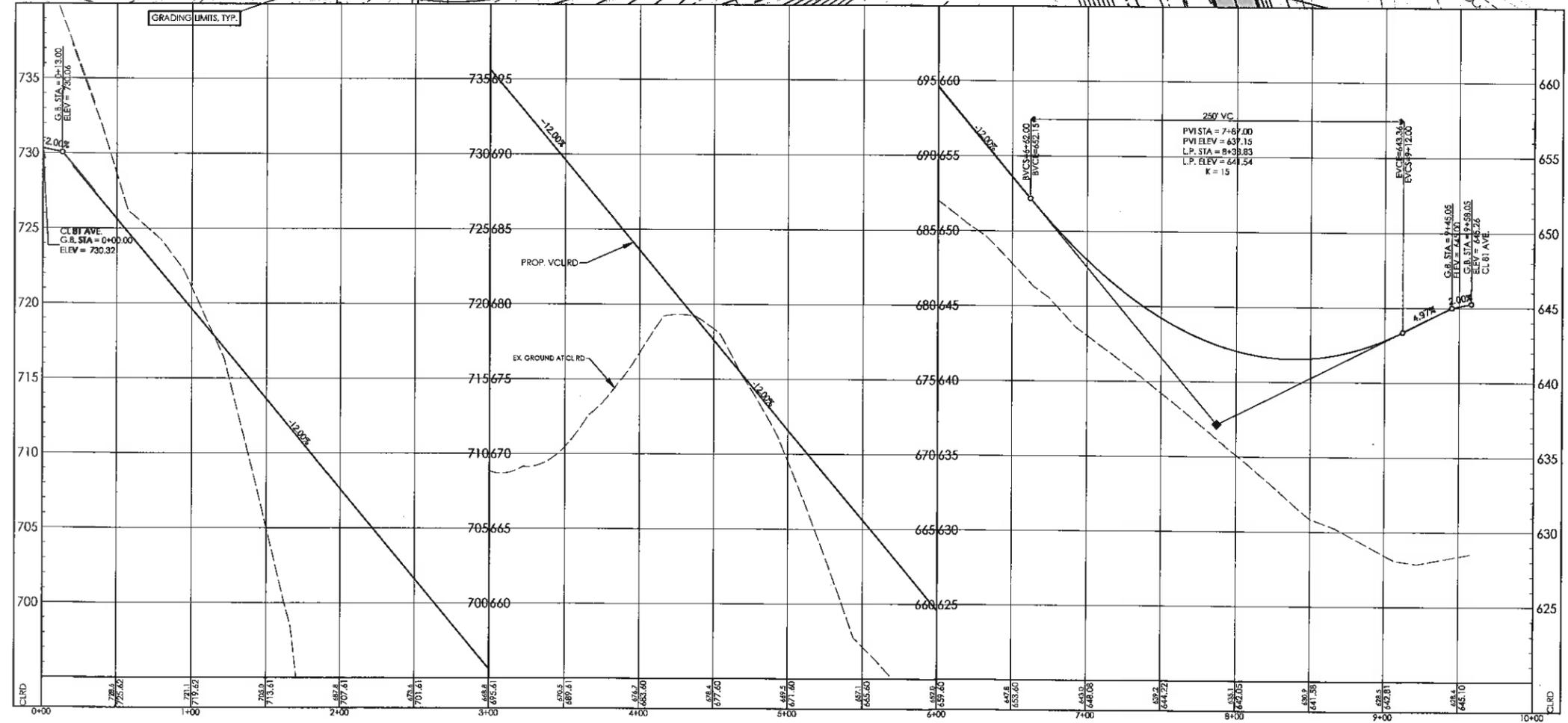
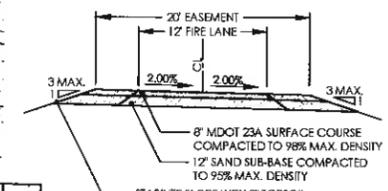
12'-WIDE, 23A SURFACE COURSE FIRE ACCESS LANE. GRADE THE FULL 20'-WIDE EASEMENT AT A CONSTANT 2% CROSS SLOPE (NO CROWN) DOWN TO THE SOUTH.

INSTALL FIRE LANE ACCESS GATE, 22'-WIDE (MIN.) OPENING, LOCKABLE, GALVANIZED DOUBLE SWING GATE AT END OF PROPOSED HMA.

HMA APPROACH FOR WATER TANK

FIRE SUPPRESSION WATER TANK AND SUPPLY WELL SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS OF THE PENINSULA TWP. FIRE DEPARTMENT AND THE G.T. CO. HEALTH DEPARTMENT. SEE SHEET C1.6.

INSTALL 93 FT OF 30" CMP CULVERT (INCLUDES END SECTIONS) @ 0.71%



830 Congerview Dr., Ste. 201  
P.O. Box 4015  
Traverse City, MI 49685  
Phone: 231-946-9310  
www.mansfield.com  
info@mansfield.com

**Mansfield**  
Land Use Consultants

REV.	DATE	BY	CHK	DESCRIPTION
13	10/26/11	dm	dm	Revised Easement Access
14	07/14/12	dm	dm	Allowable Easement Access
15	07/27/12	dm	dm	Allowable Easement Access
16	12/14/12	dm	dm	Commonly Specific Field Layout
17	01/08/13	dm	dm	Water Storage Tank
18	01/08/13	dm	dm	Construction Plan Update
19	01/28/13	dm	dm	Storm Basin Calculation Update
20	02/20/13	dm	dm	Final & Top of Earthwork

The 81 Development Company, LLC  
The 81 on East Bay - PUD  
FIRE LANE - PLAN & PROFILE: P.O.B. TO P.O.E.  
Section 14, Town 29 North, Range 10 West  
Peninsula Twp., Grand Traverse County, Michigan

SCALE: 1"=40' H, 1"=4' V

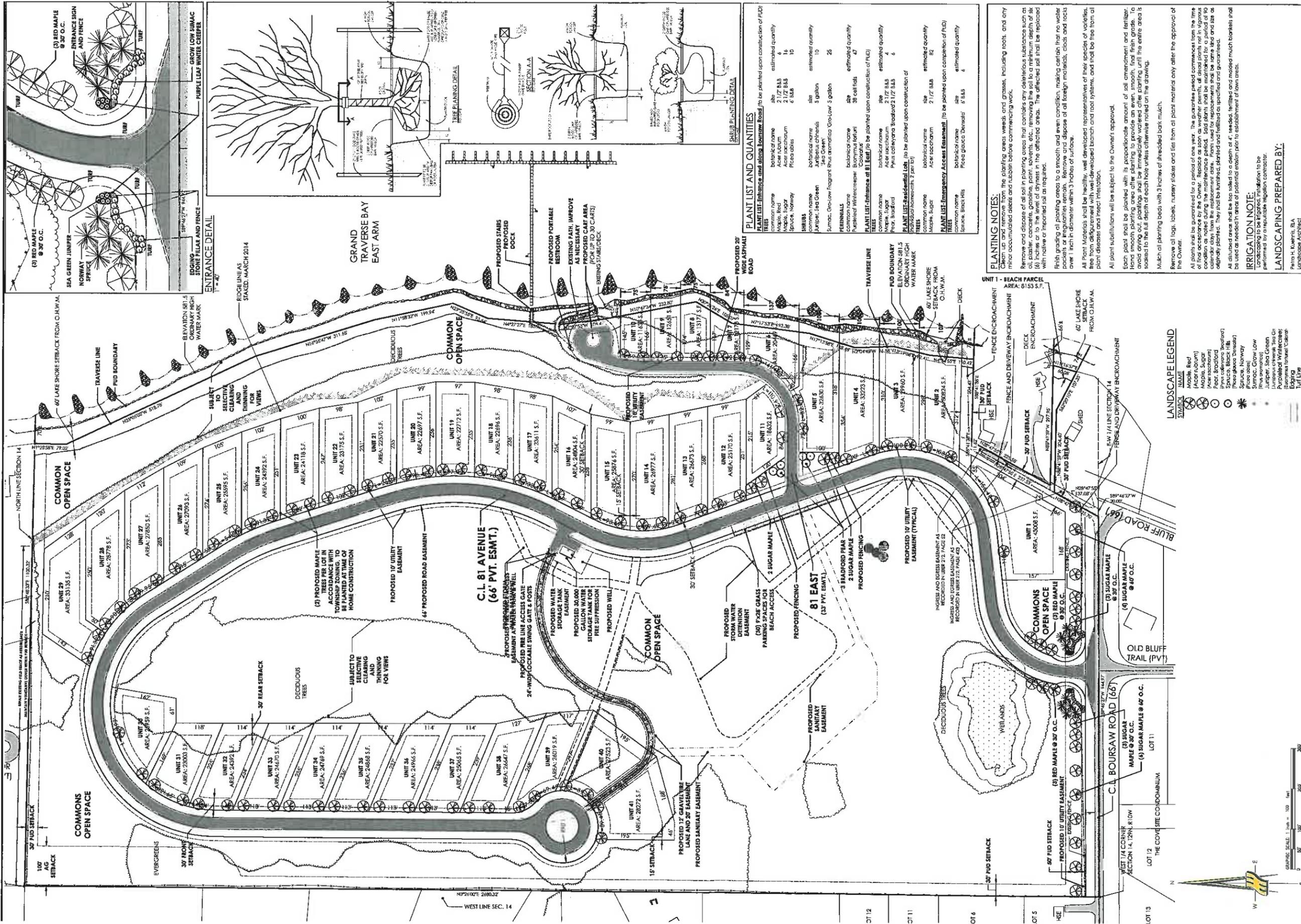
CONSTRUCTION

DATE: 03/05/14

14016

C6.8

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**PLANT LIST AND QUANTITIES**

**PLANT LIST - Entrance and along Boursaw Road** (to be planted upon construction of PUD)

Botanical Name	Qty	Estimated Quantity
Maple, Red	2 1/2 B&B	16
Maple, Sugar	2 1/2 B&B	16
Spice, Norway	6 B&B	10

**SHRUBS**

Botanical Name	Qty	Estimated Quantity
Juniper, Sea Green	5 gal	10
Juniper, chinensis	5 gal	10
Sea Green	5 gal	10

**PERENNIALS**

Common Name	Qty	Estimated Quantity
Purple Heart	39 cell flats	47

**PLANT LIST - Entrance of 81 East** (to be planted upon construction of PUD)

Botanical Name	Qty	Estimated Quantity
Maple, Sugar	2 1/2 B&B	4
Maple, Red	2 1/2 B&B	4
Spice, Norway	2 per ft	2

**PLANT LIST - Emergency Access Easement** (to be planted upon completion of PUD)

Botanical Name	Qty	Estimated Quantity
Maple, Sugar	2 1/2 B&B	82
Maple, Red	2 1/2 B&B	82
Spice, Norway	6 B&B	4

**PLANTING NOTES:**  
 Clean up and remove from the planting areas weeds and grass, including roots, and any minor accumulated debris and rubbish before commencing work.

Remove and dispose of all soil in planting areas that contains any deleterious substances such as oil, plaster, concrete, gasoline, paint, solvents, etc., removing the soil to a minimum depth of 6" (6") in the affected areas. The affected soil shall be replaced with native or imported soil as required.

Finish grading of planting areas to a smooth and even condition, making certain that no water pockets or irregularities remain. Remove and dispose of all foreign materials, clods and rocks over 1 inch in diameter within 3 inches of surface.

All Plant Materials shall be healthy, well-developed representatives of their species of varieties, free from affliction with well-developed branch and root systems, and shall be free from all plant disease and insect infestation.

All plant substitutions will be subject to the Owner's approval.

Each plant shall be planted with its appropriate amount of soil amendment and fertilizer. Hand smooth planting area after planting to provide an even, smooth, final finish grade. To avoid drying out, plantings shall be immediately watered after planting. The entire area is soaked to the full depth of each hole unless otherwise noted on the drawing.

Mulch all planting beds with 3 inches of shredded bark mulch.

Remove all tags, labels, nursery stakes and ties from all plant material only after the approval of the Owner.

All plants shall be guaranteed for a period of one year. The guarantee period commences from the time of planting. Replacement of plants within the guarantee period shall be at the contractor's expense. Plants that die or become dormant during the guarantee period shall be replaced with plants of the same species and size as originally planted. They shall be fertilized, planted and fertilized as specified and guaranteed.

All disturbed areas shall be topsoiled to a depth of 4" - 6" (4" - 6") and seeded with grass. Seeded areas shall be protected from erosion prior to establishment of lawn areas.

**IRRIGATION NOTE:**  
 Landscaping to be irrigated. Irrigation to be performed by a reputable irrigation contractor.

**LANDSCAPING PREPARED BY:**  
 Patra H. Kuehn, RIA  
 Landscape Architect  
 No. 390101396

**The 81 Development Company, LLC**  
**The 81 on East Bay - PUD**  
**LANDSCAPE PLAN**  
 Section 14, Town 29 North, Range 10 West  
 Peninsula Twp., Grand Traverse County, Michigan

GRAPHIC SCALE: 1" = 100' - 100' - 200' - 300'

DATE: 03.05.14

14016  
 L1.0

**CONSTRUCTION**

**Mansfield**  
 Land Use Consultants

830 Carageview Dr., Ste. 201  
 P.O. Box 4015  
 Traverse City, MI 49785  
 Phone: 231-946-9310  
 www.manspc.com  
 info@manspc.com

GL NUMBER	DESCRIPTION	2014-15 ACTIVITY	2015-16 AMENDED BUDGET	2015-16 ACTIVITY THRU 03/31/16	2016-17 REQUESTED BUDGET
<b>ESTIMATED REVENUES</b>					
Function: Unclassified					
Dept 000					
206-000-403.000	Tax Account	19,981	689,900	18,753	709,500
206-000-407.000	Delinquent Taxes	646,672		608,681	30,000
206-000-620.000	Tax Collection Payover	34,471	40,000	26,522	1,200
206-000-630.000	Ambulance & Fire Service Fees	1,175		871	
206-000-664.000	Interest & Dividends			30,145	
206-000-673.000	Sale of Fixed Assets			8,895	
206-000-675.000	Contributions from Private Sr	530	250	167	
206-000-676.000	Miscellaneous	3,507			
206-000-699.000	Appropriated Transfers In				
Totals for dept 000-					
		706,336	730,150	694,034	740,700
Total - Function Unclassified					
		706,336	730,150	694,034	740,700
<b>TOTAL ESTIMATED REVENUES</b>					
<b>APPROPRIATIONS</b>					
Function: Unclassified					
Dept 000					
206-000-704.000	Permanent Employees	176,090	232,000	228,310	241,280
206-000-706.000	PART TIME OR CALL	147,000	146,000	111,215	151,840
206-000-707.000	Temporary Employees			11,152	
206-000-710.000	Towpakk/Work Comp	35,102	48,000	46,215	48,000
206-000-712.000	Hospitalization/Life Insuranc	25,616	30,000	17,150	24,000
206-000-712.HRA	Health Reimbursement Account	142			
206-000-712.HSA	HEALTH SAVINGS ACCOUNT				
206-000-715.000	Employer Social Security	24,295	29,000	7,800	4,000
206-000-717.000	UNEMPLOYMENT PAID			26,519	31,000
206-000-718.000	Pension			7,240	
206-000-726.000	Supplies	20,172	22,000	17,075	30,000
206-000-745.000	Heating Fuel	11,167	10,000	4,933	10,000
206-000-751.000	Gas & Oil	5,377	8,000	5,461	8,000
206-000-801.000	Legal Fees	13,521	18,000	9,969	18,000
206-000-807.000	Audit Fees	3,421	5,000	840	5,000
206-000-818.000	Contractual Services	1,241	3,000	1,021	3,000
206-000-828.000	Health & Safety	7,538	16,250	21,299	20,000
206-000-850.000	Communications/Telephone	4,398	8,000	3,010	8,000
206-000-851.000	Radio Maintenance	3,521	3,000	5,724	7,000
206-000-870.000	Mileage	657	2,500	2,479	3,500
206-000-880.000	Community Promotions		2,500	1,195	300
206-000-900.000	Printing & Publishing	678	1,500	1,195	2,500
206-000-921.000	Electricity	1,461	1,500	948	9,500
206-000-926.000	Street Lighting	7,286	8,500	6,229	1,000
206-000-930.000	Repairs and Maintenance	485	500	409	1,500
206-000-931.000	Snow Removal	5,062	5,500	6,288	15,000
206-000-932.000	Ambulance Supplies		1,500		1,500
206-000-933.000	Equipment Maintenance	5,773	8,000	8,343	10,000
206-000-935.000	UNIFORMS / FIRE GEAR	7,289	20,000	9,488	20,000
206-000-937.000	FIRE DEPT - EQUIPMENT PURCHASES	4,448	10,000	7,355	25,000
206-000-939.000	Vehicle Maintenance	1,107	7,000	5,789	22,000
206-000-958.000	Memberships and Dues	30,768	28,000	42,592	32,000
206-000-960.000	Education & Training	2,269	1,200	2,754	2,000
206-000-961.000	Refund of Taxes	16,807	25,000	7,807	2,000
206-000-967.MAT	PROJECT COST MATT MOSHER LAW SUIT	131	750	217	500
		270			

GL NUMBER	DESCRIPTION	2014-15 ACTIVITY	2015-16 AMENDED BUDGET	2015-16 THRU 03/31/16 ACTIVITY	2016-17 REQUESTED BUDGET
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<b>APPROPRIATIONS</b>					
Function: Unclassified					
Dept 000		50,483	160,000	367,753	160,000
206-000-970.000	Capital Outlay	18,887			
206-000-971.000					
Totals for dept 000-		634,469	860,700	994,260	938,920

<b>Dept 106-Fire Board</b>					
206-106-703.FBD	Fire Board	3,120	3,000	1,450	4,920
206-106-715.000	Employer Social Security	320	296	202	400
206-106-726.000	Supplies		350		250
206-106-801.000	Legal Fees	240	2,500		2,500
206-106-818.000	Contractual Services		1,000		1,000
206-106-818.010	Contractual and Recording Sec	1,440	1,200	1,320	1,400
206-106-900.000	Printing & Publishing	256	300		300
Totals for dept 106-Fire Board		5,376	8,646	2,972	10,770

Total - Function Unclassified					
TOTAL APPROPRIATIONS		639,845	869,346	997,232	949,690
NET OF REVENUES/APPROPRIATIONS - FUND 206		66,491	(135,196)	(303,198)	(208,990)

BEGINNING FUND BALANCE 582,066  
 ENDING FUND BALANCE 648,557

648,558  
 505,362  
 648,558  
 345,360  
 345,360  
 136,370

ESTIMATED REVENUES  
 Function: Unclassified

GL NUMBER	DESCRIPTION	2014-15 ACTIVITY	2015-16 AMENDED BUDGET	2015-16 ACTIVITY THRU 03/31/16	2016-17 REQUESTED BUDGET
Dept 000	Tax Account				
101-000-403.000	Delinquent Taxes	13,378	412,000	10,877	426,800
101-000-407.000	Penalties Tax Collection	4,209	4,500		4,500
101-000-566.WTS	WATERSHED GRANT				
101-000-574.000	State Revenue Sharing	415,098	415,000	339,584	432,245
101-000-607.000	Permits and Fees	19,973	15,000	23,785	18,000
101-000-620.000	Tax Collection Payover	394,476		372,559	
101-000-625.000	Homestead Interest	9,554	4,000	5,231	5,000
101-000-626.000	TCAPS Revenue				10,500
101-000-641.000	Sale of Bohemian Lots		10,000	8,750	9,000
101-000-643.000	Sale of Pen. Dr. Lots		1,300		
101-000-650.000	Chg. for Services		250		150
101-000-650.100	Laser, Fax, etc.	130		98	
101-000-664.000	Interest & Dividends	12,446	10,000	4,553	10,000
101-000-665.FSA	Health Reim Acct Interest	4			
101-000-671.000	Interest FSA Account	11	10		15
101-000-676.000	SALE OF BUILDING GROUNDS MAINTENANCE	12,069		11,620	
101-000-677.RET	Miscellaneous	14,582	5,000		10,000
101-000-677.STM	INSURANCE STORM MAINTENANCE				
101-000-699.000	Appropriated Transfers In	43,423	30,000	36,443	
Totals for dept 000-		950,602	907,260	851,778	926,210
Dept 253-Treasurer	CASH OVER AND SHORT	(55)		(65)	100
101-253-694.000		(55)		(65)	100
Totals for dept 253-Treasurer		950,547	907,260	851,713	926,310
Total - Function Unclassified		950,547	907,260	851,713	926,310
TOTAL ESTIMATED REVENUES					
APPROPRIATIONS					
Function: Unclassified					
Dept 000	HOMESTEAD STREET LIGHT			88	1,200
101-000-926.020	Refund of Taxes	1,113	1,200	35,000	65,000
101-000-961.000	Appropriations Transfers out	170,250	35,000		
101-000-999.000		121,363	36,200	35,088	66,200
Totals for dept 000-		19,736	20,937	20,063	21,565
Dept 101-Township Board	Salary	520	750	100	750
101-101-702.000	Wages and Per Diem			1,513	
101-101-703.000	Employer Social Security	4	100	126	150
101-101-715.000	Supplies	4,861	7,000	9,550	11,000
101-101-726.000	Legal fees	3,931	5,000	2,319	4,500
101-101-801.000	Audit fees	1,920	2,000	1,920	2,000
101-101-807.000	Contractual Services	160	300	55	200
101-101-818.000	Mileage	619	800		
101-101-870.000	Community Activity/Newspaper	3,023	2,500	1,292	2,500
101-101-881.400	Printing & Publishing	5,622	7,000	5,990	6,500
101-101-900.000	Memberships and Dues		250		1,000
101-101-958.000	Education & Training	79	200	134	200
101-101-960.000	Refund of Taxes				
101-101-961.000					

APPROPRIATIONS  
 Function: Unclassified  
 Dept 101-Township Board  
 101-101-967.IHB PROJECT COST/LOGAN HILL & BRAEMAR

GL NUMBER	DESCRIPTION	2014-15 ACTIVITY	2015-16 AMENDED BUDGET	2015-16 ACTIVITY THRU 03/31/16	2016-17 REQUESTED BUDGET
Totals for dept 101-Township Board					
		40,475	46,837	49,089	50,365
Dept 171-Supervisor				6,027	
101-171-702.000	Salary	48,281	45,568	45,713	46,935
101-171-715.000	Employer Social Security	19	250	3,839	250
101-171-726.000	Supplies	899	1,500	29	1,500
101-171-870.000	Mileage	890	750	426	750
101-171-960.000	Education & Training	1,803		460	
101-171-977.000	Office Equipment			63	
Totals for dept 171-Executive Activities		51,892	48,068	50,530	49,435
Dept 173-Executive Activities					
101-173-704.000	Permanent Employees	24,563	27,379	26,394	28,600
101-173-707.000	Temporary Employees	826	1,500	420	750
101-173-715.000	Employer Social Security	3,091	4,000	2,037	4,000
101-173-726.000	Supplies	5,467	6,000	6,424	7,000
101-173-818.000	Contractual Services	1,607	5,000	1,697	4,000
101-173-850.000	Communications/Telephone		100	13	100
101-173-870.000	Mileage		100	750	400
101-173-900.000	Printing & Publishing		750	400	500
101-173-930.000	Repairs and Maintenance		500	275	275
101-173-957.000	Books & Magazines	266	275	273	275
101-173-958.000	Memberships and Dues	135	100	135	100
101-173-960.000	Education & Training		250	85	250
101-173-977.000	Office Equipment	74	200	85	250
Totals for dept 173-Executive Activities		35,821	46,045	40,420	47,175
Dept 191-Elections					
101-191-704.000	Permanent Employees	12,936	13,724	13,152	14,273
101-191-707.000	Temporary Employees	8,079	5,000	475	9,350
101-191-715.000	Employer Social Security			1,053	
101-191-726.000	Supplies	8,069	5,000	513	5,000
101-191-818.000	Contractual Services	481	1,600	246	1,600
101-191-850.000	Communications/Telephone	264	300	272	350
101-191-870.000	Mileage	482	400	97	600
101-191-900.000	Printing & Publishing	427	450	450	600
101-191-930.000	Repairs and Maintenance		100		100
101-191-960.000	Education & Training	1,039	1,500	1,327	1,500
Totals for dept 191-Elections		31,797	28,074	17,135	33,223
Dept 209-Assessing					
101-209-702.000	Salary	50,857	56,831	50,199	58,536
101-209-703.000	Wages and Per Diem		250	300	600
101-209-704.SWC	Assessor Sewer & Water Pay	4,320		4,264	
101-209-707.000	Temporary Employees	45	1,000	75	4,000
101-209-715.000	Employer Social Security			4,037	
101-209-725.000	Computer Supplies	50	1,500	812	1,500
101-209-726.000	Supplies	1,755	2,000	1,500	1,500
101-209-801.000	Legal Fees	4,146	3,000	2,171	4,000
101-209-814.000	Computer Services	1,051	1,000	96	1,000
101-209-818.000	Contractual Services	2,148	3,037	1,423	2,950
101-209-818.200	BS & A	1,400	1,290	1,412	1,335

GL NUMBER	DESCRIPTION	2014-15 ACTIVITY	2015-16 AMENDED BUDGET	2015-16 ACTIVITY THRU 03/31/16	2016-17 REQUESTED BUDGET
<b>APPROPRIATIONS</b>					
Function: Unclassified					
Dept 209-Assessing					
101-209-850.000	Communications/Telephone	599	500	648	600
101-209-870.000	Mileage	1,102	1,400	849	1,400
101-209-900.000	Printing & Publishing	90	500	102	2,165
101-209-930.000	Repairs and Maintenance				200
101-209-956.000	Contingency Fund, Misc	835	1,000	502	1,000
101-209-958.000	Memberships and Dues		300	250	500
101-209-960.000	Education & Training	509	1,500	324	1,500
101-209-977.000	Office Equipment	1,700			500
Totals for dept 209-Assessing		70,857	75,308	67,964	83,286
Dept 215-Clerk					
101-215-702.000	Salary	42,952	45,568	43,669	46,935
101-215-704.000	Permanent Employees	22,027	23,368	22,394	24,303
101-215-715.000	Employer Social Security			4,716	
101-215-726.000	Supplies	600	1,000	750	1,000
101-215-814.000	Computer Services	136	200	63	200
101-215-818.000	Contractual Services	2,203	2,250	2,245	2,250
101-215-850.000	Communications/Telephone	277	300	272	350
101-215-870.000	Mileage	275	400	543	500
101-215-900.000	Printing & Publishing		200		200
101-215-930.000	Repairs and Maintenance				
101-215-958.000	Memberships and Dues	380	50	635	350
101-215-960.000	Education & Training	1,679	1,700	1,376	1,700
Totals for dept 215-Clerk		70,529	75,336	76,663	77,788
Dept 225-SUMMER TAX COLLECTION					
101-225-704.000	Permanent Employees				10,400
101-225-715.000	Employer Social Security				3,500
101-225-726.000	Supplies				2,200
101-225-807.000	Audit Fees				1,750
101-225-818.000	Contractual Services				500
101-225-870.000	Mileage				50
101-225-900.000	Printing & Publishing				
Totals for dept 225-SUMMER TAX COLLECTION					16,400
Dept 247-Board of Review					
101-247-703.000	Wages and Per Diem	810	1,500	375	1,800
101-247-707.000	Temporary Employees		90		90
101-247-715.000	Employer Social Security			29	
101-247-726.000	Supplies	2,191	2,400		2,000
101-247-870.000	Mileage		25		150
101-247-900.000	Printing & Publishing		500	42	200
101-247-960.000	Education & Training		200		200
Totals for dept 247-Board of Review		3,026	4,715	446	4,440
Dept 253-Treasurer					
101-253-702.000	Salary	37,132	43,000	41,208	44,290
101-253-704.000	Permanent Employees	23,466	27,092	25,949	28,176
101-253-707.000	Temporary Employees			960	500
101-253-715.000	Employer Social Security			4,116	
101-253-726.000	Supplies	3,407	4,400	3,947	4,500
101-253-818.000	Contractual Services	2,382	2,500	2,485	2,500
101-253-850.000	Communications/Telephone	530	500	460	500

GL NUMBER	DESCRIPTION	2014-15 ACTIVITY	2015-16 AMENDED BUDGET	2015-16 ACTIVITY THRU 03/31/16	2016-17 REQUESTED BUDGET
<b>APPROPRIATIONS</b>					
Function: Unclassified					
Dept 253-Treasurer					
101-253-870.000	Mileage	2,591	2,400	2,393	2,400
101-253-900.000	Printing & Publishing	118	120	139	150
101-253-958.000	Memberships and Dues	50	50	50	50
101-253-960.000	Education & Training	75	500	790	500
101-253-977.000	Office Equipment	126	300	790	500
Totals for dept 253-Treasurer		69,877	80,852	82,497	84,066
Dept 265-Buildings and Grounds					
101-265-702.000	Salary				
101-265-712.000	Hospitalization/Life Insuranc				
101-265-726.000	Supplies	846	2,400	681	2,400
101-265-745.000	Heating Fuel	6,392	5,000	2,938	5,000
101-265-751.000	Gas & Oil				
101-265-818.000	Contractual Services	28,474	28,000	27,237	30,000
101-265-818.100	Cemetery Sexton	5,400	3,600	5,400	3,600
101-265-818.CEM	Cemetery Contractual		500		500
101-265-818.OGC	Contract/Ogdensburg/Church/wa		2,500		2,500
101-265-818.TWH	Twp Hall Building Renovations		250		250
101-265-850.000	Communications/Telephone	4,821	6,000	4,345	6,000
101-265-921.CEM	Cemetery Electric			45	50
101-265-926.000	Street Lighting	1,300	1,700	1,151	1,200
101-265-930.000	Repairs and Maintenance	10,233	5,000	15,199	5,000
101-265-930.STM	STORM DAMAGE AUGUST 2, 2015			5,160	250
101-265-934.000	Equipment		250		250
101-265-956.000	Contingency Fund, Misc				
Totals for dept 265-Buildings and Grounds		57,466	54,700	62,156	54,000
Dept 400-Planner					
101-400-702.000	Salary	52,015	55,182	52,883	58,542
101-400-703.000	Wages and Per Diem	1,350	1,500	1,440	1,500
101-400-715.000	Employer Social Security			3,723	
101-400-726.000	Supplies	578	700	655	700
101-400-801.000	Legal Fees	333	500	313	500
101-400-818.000	Contractual Services	2,933	4,000	2,030	4,000
101-400-850.000	Communications/Telephone	511	520	533	520
101-400-870.000	Mileage	597	700	642	700
101-400-900.000	Printing & Publishing	785	1,000	750	1,000
101-400-960.000	Education & Training	553	750	309	750
Totals for dept 400-Planner		59,655	64,852	62,528	68,212
Dept 410-Planning Commission					
101-410-703.PLC	Planning Commission Per Diem	3,049	6,000	2,520	7,000
101-410-703.ZBA	Zoning Board Appeals Perdiem	160			
101-410-715.000	Employer Social Security	289		255	
101-410-726.000	Supplies	61	100	33	100
101-410-818.000	Legal Fees	2,754	4,000	8,448	10,000
101-410-818.010	Contractual and Recording Sec	2,763	500	5,480	4,000
101-410-818.GTB	Contract Gr Tr Bay Water Shed	1,080	1,400	1,080	1,400
101-410-900.000	Printing & Publishing	617	3,200	982	3,200
101-410-958.000	Memberships and Dues	588	750	573	750
101-410-960.000	Education & Training	350	500	343	500

GL NUMBER	DESCRIPTION	2014-15 ACTIVITY	2015-16 AMENDED BUDGET	2015-16 ACTIVITY THRU 03/31/16	2016-17 REQUESTED BUDGET
<b>APPROPRIATIONS</b>					
Function: Unclassified					
Dept 410-Planning Commission					
Totals for dept 410-Planning Commission					
		11,681	16,450	19,714	26,950
Dept 420-Zoning Administrator					
101-420-702.000	Salary	32,372	37,238	28,329	36,400
101-420-703.000	Wages and Per Diem	720	1,350	300	1,350
101-420-704.000	Permanent Employees				
101-420-715.000	Employer Social Security	2,242		2,139	500
101-420-726.000	Supplies	301	500	174	500
101-420-801.000	Legal Fees	2,733	5,000	5,462	7,000
101-420-818.000	Contractual Services	400	600	106	600
101-420-850.000	Communications/Telephone	448	520	437	520
101-420-870.000	Mileage	464	600	214	750
101-420-900.000	Printing & Publishing	457	200	772	750
101-420-960.000	Education & Training	617	750	104	750
101-420-977.000	Office Equipment		300		300
Totals for dept 420-Zoning Administrator					
		40,754	47,058	38,037	48,920
Dept 430-Zoning Board of Appeals					
101-430-703.ZBA	Zoning Board Appeals Perdiem	3,240	3,000	1,710	5,000
101-430-707.000	Temporary Employees				
101-430-715.000	Employer Social Security	(2,217)		184	100
101-430-726.000	Supplies		100	117	15,500
101-430-801.000	Legal Fees	5,632	12,000	12,221	1,200
101-430-818.010	Contractual and Recording Sec	960	1,200	720	1,200
101-430-900.000	Printing & Publishing	953	1,200	1,899	1,300
101-430-958.000	Memberships and Dues	455	500	465	500
101-430-960.000	Education & Training	125	300	188	300
Totals for dept 430-Zoning Board of Appeals					
		13,148	20,300	17,504	23,900
Dept 851-Insurance and Bonds					
101-851-710.000	Townpak/Work Comp	13,316	20,000	5,328	13,500
101-851-712.000	Hospitalization/Life Insuranc	67,325	90,500	72,540	90,000
101-851-712.FSA	Adm'n Flex Spending Acct	10,549		1,569	2,500
101-851-712.HRA	Health Reimbursement Account	446		252	500
101-851-712.HSA	HEALTH SAVINGS ACCOUNT			19,717	
Totals for dept 851-Insurance and Bonds					
		\$1,646	110,500	99,406	106,500
Dept 861-Pension Plan					
101-861-718.000	Pension	39,479	45,500	47,106	48,000
Totals for dept 861-Pension Plan					
		39,479	45,500	47,106	48,000
Dept 862-Employer Social Security					
101-862-715.000	Employer Social Security	27,488	40,000		40,000
Totals for dept 862-Employer Social Security					
		27,488	40,000		40,000
Dept 870-UNEMPLOYMENT INSURANCE					
101-870-717.000	UNEMPLOYMENT PAID	7,282			
Totals for dept 870-UNEMPLOYMENT INSURANCE					
		7,282			
Dept 901-Capital Outlay					
101-901-970.101	TOWN BOARD				
101-901-970.171	SUPERVISOR				
101-901-970.173	Capital Outlay-Exec Actiivitle	2,975		12,116	

GL NUMBER	DESCRIPTION	2014-15 ACTIVITY	2015-16 AMENDED BUDGET	2015-16 ACTIVITY THRU 03/31/16	2016-17 REQUESTED BUDGET
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<b>APPROPRIATIONS</b>					
Function: Unclassified					
Dept 901-Capital Outlay					
101-901-970.191	ELECTIONS				
101-901-970.209	ASSESSING				
101-901-970.215	CLERK				
101-901-970.253	TREASURER	1,935			
101-901-970.265	Capital Outlay-Build & Ground				
101-901-970.276	Capital Outlay Cemetery		9,500		
101-901-970.400	PLANNER				
101-901-970.410	PLANNING COMMISSION				
101-901-970.420	ZONING ADMINSTRATOR				
101-901-970.430	ZONING BOARD OF APPEALS				
Totals for dept 901-Capital Outlay					
		4,910	9,500	12,116	
Total - Function Unclassified					
		849,146	850,305	778,399	928,860
<b>TOTAL APPROPRIATIONS</b>					
		849,146	850,305	778,399	928,860

<b>NET OF REVENUES/APPROPRIATIONS - FUND 101</b>					
		101,401	56,955	73,314	(2,550)
<b>BEGINNING FUND BALANCE</b>					
		628,958	118,099	718,099	791,413
<b>FUND BALANCE ADJUSTMENTS</b>					
		(12,260)			
<b>ENDING FUND BALANCE</b>					
		718,099	775,054	791,413	788,863

GL NUMBER	DESCRIPTION	2014-15 ACTIVITY	2015-16 AMENDED BUDGET	2015-16 ACTIVITY THRU 03/31/16	2016-17 REQUESTED BUDGET
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<b>ESTIMATED REVENUES</b>					
<b>Function: Unclassified</b>					
Dept 000					
208-000-620.000	Tax Collection Payover				
208-000-664.000	Interest & Dividends				
208-000-675.000	Contributions from Private Sr				
208-000-676.000	Miscellaneous				
208-000-699.000	Appropriated Transfers In				
<b>Totals for dept 000-</b>					
		743	200	806	880

<b>Dept 751-Parks</b>					
208-751-664.000	Interest & Dividends				
208-751-667.000	Rental Income	1,380	900	1,140	1,100
208-751-669.000	Parks Summer Program	13,000			
208-751-676.000	Miscellaneous	120,250	110,000	35,000	65,000
208-751-699.000	Appropriated Transfers In	134,630	110,900	36,141	66,100
<b>Totals for dept 751-Parks</b>					
		135,373	111,100	36,947	66,980
<b>Total - Function Unclassified</b>					
		135,373	111,100	36,947	66,980

**TOTAL ESTIMATED REVENUES**

**APPROPRIATIONS**

<b>Function: Unclassified</b>					
<b>Dept 751-Parks</b>					
208-751-703.000	Wages and Per Diem	3,060	4,500	3,100	8,200
208-751-704.000	Permanent Employees				
208-751-707.000	Temporary Employees				
208-751-707.ABG	Assistant Bldg/Grounds				
208-751-710.000	Towmpak/Work Comp	3,678	3,500	878	1,750
208-751-712.000	Hospitalization/Life Insurance				
208-751-715.000	Employer Social Security	362	300	361	690
208-751-717.000	UNEMPLOYMENT PAID	3,669			
208-751-718.000	Pension				
208-751-726.000	Supplies	1,244	1,500	734	1,000
208-751-745.000	Heating Fuel	2,570	1,500	1,067	
208-751-751.000	Gas & Oil				
208-751-783.000	Seeding and Planting Services				
208-751-801.000	Legal Fees	1,553	1,500	640	1,000
208-751-807.000	Audit Fees	430	1,000	371	1,000
208-751-818.000	Contractual Services	37,009	60,000	57,063	64,800
208-751-818.010	Contractual and Recording Sec	1,800	1,800	1,800	2,800
208-751-850.000	Communications/Telephone	8			
208-751-870.000	Mileage				
208-751-900.000	Printing & Publishing	1,678	4,000	256	4,000
208-751-921.000	Electricity	2,667	3,000	2,991	3,000
208-751-926.000	Street Lighting	1,149	1,250	932	1,250
208-751-930.000	Repairs and Maintenance	8,085	11,000	4,895	12,200
208-751-930.100	Log Church Maintenance	13,962	10,000		15,000
208-751-930.200	BHP Repairs and Maintenance	440	2,500	890	5,000
208-751-940.000	Rental Expenditure		1,500	6,000	400
208-751-960.000	Education & Training			175	
208-751-967.BHP	BOWERS HARBOR PARK EXPANSION	7,150			1,000

**Totals for dept 751-Parks**

		110,464	108,850	82,153	123,090
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**Dept 753-Parks Improvement**

GL NUMBER	DESCRIPTION	2014-15 ACTIVITY	2015-16 AMENDED BUDGET	2015-16 ACTIVITY THRU 03/31/16	2016-17 REQUESTED BUDGET
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APPROPRIATIONS  
 Function: Unclassified  
 Dept 753-Parks Improvement  
 208-753-930.000 Repairs and Maintenance

Totals for dept 753-Parks Improvement

Total - Function Unclassified

TOTAL APPROPRIATIONS

NET OF REVENUES/APPROPRIATIONS - FUND 208

BEGINNING FUND BALANCE  
 FUND BALANCE ADJUSTMENTS  
 ENDING FUND BALANCE

400					
110,864	108,850	82,153	123,090		
110,864	108,350	82,153	123,090		
24,509	2,250	(45,206)	(56,110)		
16,794	33,197	93,197	112,017		
41,303	\$4,026	64,026	112,017		
	159,473	112,017	55,907		

GL NUMBER	DESCRIPTION	2014-15 ACTIVITY	2015-16 AMENDED BUDGET	2015-16 THRU 03/31/16 ACTIVITY	2016-17 REQUESTED BUDGET
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<b>ESTIMATED REVENUES</b>					
Function: Unclassified					
Dept 000					
508-000-508.LHG	Lighthouse Grant				
508-000-664.000	Interest & Dividends				
508-000-667.000	Rental Income				
508-000-667.100	Keeper Program	3,225	5,000	3,880	4,000
508-000-667.200	Lighthouse Tours	54,267	55,000	53,755	55,000
508-000-667.WDG	Weddings Deposits	1,900			
508-000-675.000	Contributions from Private Sr	4,771	3,000	3,188	42,000
508-000-699.000	Appropriated Transfers In				20,000
Totals for dept 000-		64,164	53,000	60,856	121,000
Total - Function Unclassified		64,164	63,000	60,856	121,000

<b>TOTAL ESTIMATED REVENUES</b>					
Function: Unclassified					
Dept 000					
508-000-707.000	Temporary Employees	18,288	21,700	14,432	7,234
508-000-708.000	LIGHTHOUSE & GIFT SHOP MANAGER		3,500		2,300
508-000-710.000	TOWNSHIP/WORK COMP				612
508-000-712.000	Hospitalization/Life Insuranc	1,399	2,262	1,104	3,000
508-000-715.000	Employer Social Security	1,498	800	1,736	800
508-000-726.000	Supplies				1,300
503-000-728.000	Grounds	1,566	1,000	1,297	
508-000-745.000	Heating Fuel				850
508-000-751.000	Gas & Oil				186
508-000-801.000	Legal Fees	236	600	186	600
508-000-807.000	Audit Fees				2,500
508-000-818.000	Contractual Services	1,139	2,500	1,747	
508-000-818.LHG	Lighthouse Grant Match				1,500
508-000-850.000	Communications/Telephone	920	1,000	1,217	1,000
508-000-870.000	Mileage	592	1,000	386	1,000
508-000-881.000	Community Activities	462	5,000	125	5,000
508-000-900.000	Printing & Publishing	3,772	3,500	2,953	3,500
508-000-921.000	Electricity	1,564	2,000	1,185	2,000
508-000-930.000	Repairs and Maintenance	12,739	50,680	64,182	17,500
508-000-956.000	Contingency Fund, Misc	70			
508-000-956.100	Contingency/Miscellaneous	178	525	70	525
508-000-958.000	Memberships and Dues	195	225		225
508-000-970.000	Capital Outlay				60,000
508-000-999.000	Appropriations Transfers Out				
Totals for dept 000-		44,980	100,142	91,039	110,446
Total - Function Unclassified		44,980	100,142	91,039	110,446

<b>TOTAL APPROPRIATIONS</b>					
Function: Unclassified					
Total - Function Unclassified					
Total - Function Unclassified					

<b>NET OF REVENUES/APPROPRIATIONS - FUND 508</b>					
BEGINNING FUND BALANCE					
FUND BALANCE ADJUSTMENTS					
ENDING FUND BALANCE					
		19,184	(37,142)	(30,183)	10,554
		157,728	156,182	156,182	190,025
		176,912	(106,222)	(106,222)	200,579
			12,818	19,777	

GL NUMBER	DESCRIPTION	2014-15 ACTIVITY	2015-16 AMENDED BUDGET	2015-16 THRU 03/31/16 ACTIVITY	2016-17 REQUESTED BUDGET
<b>ESTIMATED REVENUES</b>					
Function: Unclassified					
Dept 000					
509-000-664.000	Interest & Dividends			28	
509-000-667.000	Rental Income			970	
509-000-667.100	Keeper Program				
509-000-667.200	Lighthouse Tours				
509-000-667.300	Gift Shop Sales	56,363	53,000	43,277	53,000
509-000-667.400	Lighthouse Sales Tax	3,588	3,200	2,595	3,200
509-000-675.000	Contributions From Private Sr				
509-000-699.000	Appropriated Transfers In				
Totals for dept 000-		59,951	55,200	46,870	56,200
Total - Function Unclassified		59,951	56,200	46,870	56,200
<b>TOTAL ESTIMATED REVENUES</b>					
59,951		56,200	46,870	56,200	
<b>APPROPRIATIONS</b>					
Function: Unclassified					
Dept 000					
509-000-708.000	LIGHTHOUSE & GIFT SHOP MANAGER				14,466
509-000-710.000	Towmpark/Work Comp				1,200
509-000-715.000	Employer Social Security				1,148
509-000-716.TAX	Lighthouse Sales Tax Pd to ST	3,479	3,200	2,616	3,200
509-000-726.000	SUPPLIES	26,493	30,000	24,490	250
509-000-727.000	MERCHANDISE FOR LIGHTHOUSE GIFT S				29,750
509-000-801.000	Legal Fees			140	
509-000-806.CCF	Credit Card Fees	1,396	1,500	1,180	1,500
509-000-807.000	Audit Fees	228	600	186	600
509-000-900.000	Printing & Publishing				
509-000-956.100	Contingency,Miscellaneous		1,000	70	1,000
509-000-999.000	Appropriations Transfers Out				
Totals for dept 000-		31,598	36,300	28,682	53,114
Total - Function Unclassified		31,598	36,300	28,682	53,114
<b>TOTAL APPROPRIATIONS</b>					
31,598		36,300	28,682	53,114	
<b>NET OF REVENUES/APPROPRIATIONS - FUND 509</b>					
28,353		19,900	18,188	3,086	
<b>BEGINNING FUND BALANCE</b>					
54,531		52,789	52,789	(35,245)	
<b>FUND BALANCE ADJUSTMENTS</b>					
82,884		102,784	101,072	(32,159)	
<b>ESTIMATED REVENUES - ALL FUNDS</b>					
259,488		230,300	144,673	244,180	
<b>APPROPRIATIONS - ALL FUNDS</b>					
187,442		245,292	201,874	286,650	
<b>NET OF REVENUES/APPROPRIATIONS - ALL FUNDS</b>					
72,046		(14,992)	(57,201)	(42,470)	
<b>BEGINNING FUND BALANCE - ALL FUNDS</b>					
229,053		302,167	302,167	275,061	
<b>FUND BALANCE ADJUSTMENTS - ALL FUNDS</b>					
301,099		(12,100)	(12,100)	232,866	
<b>ENDING FUND BALANCE - ALL FUNDS</b>					
301,099		275,075	232,866	232,591	

GL NUMBER	DESCRIPTION	2014-15 ACTIVITY	2015-16 AMENDED BUDGET	2015-16 ACTIVITY THRU 03/31/16	2016-17 REQUESTED BUDGET
<b>ESTIMATED REVENUES</b>					
Function: Unclassified					
Dept 000					
207-000-407.000	Delinquent Taxes	3,427		2,175	
207-000-580.000	Police Millage		80,000		80,000
207-000-620.000	Tax Collection Payover	77,542		73,120	
207-000-664.000	Interest & Dividends	252	100	204	100
207-000-676.000	Miscellaneous	1,525	1,500	9,501	
	Totals for dept 000-	82,746	81,600	85,000	80,100
	Total - Function Unclassified	82,746	81,600	85,000	80,100
<b>TOTAL ESTIMATED REVENUES</b>					
82,746					
<b>APPROPRIATIONS</b>					
Function: Unclassified					
Dept 000					
207-000-807.000	Audlt Fees	127	250	93	250
207-000-818.000	Contractual Services	57,293	78,000	76,588	78,000
207-000-850.000	Communications/Telephone	392	425	791	500
207-000-956.000	Contingency Fund, Misc	4,700			
207-000-961.000	Refund of Taxes	21	50	34	50
	Totals for dept 000-	62,533	78,725	77,506	78,800
	Total - Function Unclassified	62,533	78,725	77,506	78,800
<b>TOTAL APPROPRIATIONS</b>					
62,533					
<b>NET OF REVENUES/APPROPRIATIONS - FUND 207</b>					
		20,213	2,875	7,494	1,300
<b>BEGINNING FUND BALANCE</b>					
		134,464	134,677	134,677	142,171
<b>ENDING FUND BALANCE</b>					
		134,677	137,552	142,171	143,471

GL NUMBER	DESCRIPTION	2014-15 ACTIVITY	2015-16 AMENDED BUDGET	2015-16 ACTIVITY THRU 03/31/16	2016-17 REQUESTED BUDGET
<b>ESTIMATED REVENUES</b>					
Function: Unclassified					
Dept 000					
212-000-407.000	Delinquent Taxes	9,295		7,976	
212-000-580.PMA	Pelizzari natural area milllag	421,264	297,000	267,071	295,000
212-000-620.000	Tax Collection Payover	679	250	540	400
212-000-664.000	Interest & Dividends	431,238	297,250	275,587	295,400
	Totals for dept 000-				
	Total - Function Unclassified	431,238	297,250	275,587	295,400
<b>TOTAL ESTIMATED REVENUES</b>					
431,238					
<b>APPROPRIATIONS</b>					
Function: Unclassified					
Dept 000					
212-000-807.000	Audit Fees	75	500	93	250
212-000-921.000	Electricity	282	500	309	500
212-000-930.000	Repairs and Maintenance	1,909		171	
212-000-956.100	Contingency, Miscellaneous		500		500
212-000-961.000	Refund of Taxes	56	250	94	250
212-000-991.000	Debt Service - Principal	230,000		210,000	
212-000-995.000	Debt Service - Interest	40,613		33,263	
212-000-997.CRB	CRMA Bond Debt Service	750		750	
	Totals for dept 000-	273,686	274,000	274,680	280,000
	Total - Function Unclassified	273,686	275,750	274,680	281,500
<b>TOTAL APPROPRIATIONS</b>					
273,686					
<b>NET OF REVENUES/APPROPRIATIONS - FUND 212</b>					
157,552					
<b>BEGINNING FUND BALANCE</b>					
340,192					
<b>ENDING FUND BALANCE</b>					
497,744					
<b>BEGINNING FUND BALANCE</b>					
497,744					
<b>ENDING FUND BALANCE</b>					
512,551					

GL NUMBER	DESCRIPTION	2014-15 ACTIVITY	2015-16 AMENDED BUDGET	2015-16 ACTIVITY THRU 03/31/16	2016-17 REQUESTED BUDGET
<b>ESTIMATED REVENUES</b>					
Function: Unclassified					
Dept 000					
213-000-664.000	Interest & Dividends	1,068		813	600
213-000-675.000	Contributions from Private Sr				
213-000-699.000	Appropriated Transfers In				
	Totals for dept 000-	1,068		813	600
	Total - Function Unclassified	1,068		813	600
<b>TOTAL ESTIMATED REVENUES</b>					
1,068					
<b>APPROPRIATIONS</b>					
Function: Unclassified					
Dept 000					
213-000-726.000	Supplies			266	200
213-000-930.000	Repairs and Maintenance			266	400
	Totals for dept 000-			266	600
	Total - Function Unclassified			266	600
<b>TOTAL APPROPRIATIONS</b>					
266					
<b>NET OF REVENUES/APPROPRIATIONS - FUND 213</b>					
1,068					
<b>BEGINNING FUND BALANCE</b>					
12,000					
<b>FUND BALANCE ADJUSTMENTS</b>					
1,068					
<b>ENDING FUND BALANCE</b>					
12,547					



GL NUMBER	DESCRIPTION	2014-15 ACTIVITY	2015-16 AMENDED BUDGET	2015-16 ACTIVITY THRU 03/31/16	2016-17 REQUESTED BUDGET
<b>ESTIMATED REVENUES</b>					
Function: Unclassified					
Dept 000	Delinquent Taxes	35,387		32,631	
297-000-407.000	PDR Millage				
297-000-580.PDR	Tax Collection Payover	939,585	1,132,860	1,016,148	1,135,000
297-000-620.000	Interest & Dividends	2,998	2,500	1,956	2,500
297-000-664.000	Int Earned/Designated Fund				
297-000-665.000					
Totals for dept 000-		977,970	1,135,360	1,050,735	1,137,500
Total - Function Unclassified		977,970	1,135,360	1,050,735	1,137,500
<b>TOTAL ESTIMATED REVENUES</b>					
APPROPRIATIONS					
Function: Unclassified					
Dept 000	Supplies	49	250	49	100
297-000-726.000	Legal Fees	167	500	110	750
297-000-801.000	Audit Fees	2,505	2,500	2,134	2,300
297-000-807.000	Contractual Services	600	1,800	300	1,800
297-000-818.000	PDR Monitoring	4,160	4,200	4,480	4,500
297-000-953.000	INTEREST EXPENSE				
297-000-961.000	Refund of Taxes	215	500	364	500
297-000-970.000	Capital Outlay				
297-000-970.BND	Bond Payment		575,000	826,064	725,000
297-000-995.000	DEBT SERVICE INTEREST		935,000	80,520	925,000
297-000-999.000	Appropriations Transfers Out				
Totals for dept 000-		897,745	1,539,750	914,021	1,659,950
Total - Function Unclassified		897,745	1,519,750	914,021	1,659,950
<b>TOTAL APPROPRIATIONS</b>					
NET OF REVENUES/APPROPRIATIONS - FUND 297					
BEGINNING FUND BALANCE		80,725	(384,390)	136,714	(522,450)
ENDING FUND BALANCE		1,410,619	1,490,845	1,490,845	1,627,559
		1,490,844	1,106,455	1,627,559	1,105,109

GL NUMBER	DESCRIPTION	2014-15 ACTIVITY	2015-16 AMENDED BUDGET	2015-16 ACTIVITY THRU 03/31/16	2016-17 REQUESTED BUDGET
<b>ESTIMATED REVENUES</b>					
Function: Unclassified					
Dept 000					
298-000-457.000	Franchise Fees	109,509	105,000	114,049	115,000
298-000-664.000	Interest & Dividends	4,006	4,000	1,931	2,500
298-000-667.000	Rental Income	6,050	6,600	5,800	
298-000-699.000	Appropriated Transfers In	1,141		2,693	2,500
	Totals for dept 000-	120,706	115,600	124,473	120,000
	Total - Function Unclassified	120,706	115,600	124,473	120,000
<b>TOTAL ESTIMATED REVENUES</b>					
APPROPRIATIONS					
Function: Unclassified					
Dept 000					
298-000-807.000	Audit Fees	127	250	93	150
298-000-999.000	Appropriations Transfers Out	30,000	30,000	30,000	
	Totals for dept 000-	30,127	30,250	30,093	150
	Total - Function Unclassified	30,127	30,250	30,093	150
<b>TOTAL APPROPRIATIONS</b>					
<b>NET OF REVENUES/APPROPRIATIONS - FUND 298</b>					
	BEGINNING FUND BALANCE	250,721	341,300	341,300	435,680
	ENDING FUND BALANCE	341,300	426,650	435,680	555,530

GL NUMBER	DESCRIPTION	2014-15 ACTIVITY	2015-16 AMENDED BUDGET	2015-16 ACTIVITY THRU 03/31/16	2016-17 REQUESTED BUDGET
<b>ESTIMATED REVENUES</b>					
Function: Unclassified					
Dept 000					
502-000-664,000	Interest & Dividends	8,056	5,800	3,091	3,000
502-000-667,000	Rental Income	119,693	110,000	113,362	115,000
502-000-668,000	Building Rent				
502-000-699,000	Appropriated Transfers In	2,282		5,385	5,000
	Totals for dept 000-	130,031	115,800	121,838	123,000
	Total - Function Unclassified	130,031	115,800	121,838	123,000
<b>TOTAL ESTIMATED REVENUES</b>					
130,031					
<b>APPROPRIATIONS</b>					
Function: Unclassified					
Dept 000					
502-000-801,000	Legal Fees		500	62	150
502-000-807,000	Audit Fees	127	250	93	150
502-000-818,000	Contractual Services			85	250
502-000-967,000	PROJECT COST				
502-000-968,000	DEPRECIATION AND DEPLETION	9,965		108,900	
502-000-999,000	Appropriations Transfers Out				
	Totals for dept 000-	10,096	750	109,140	550
	Total - Function Unclassified	10,096	750	109,140	550
<b>TOTAL APPROPRIATIONS</b>					
10,096					
<b>NET OF REVENUES/APPROPRIATIONS - FUND 502</b>					
	BEGINNING FUND BALANCE	421,027	540,963	540,963	553,661
	ENDING FUND BALANCE	540,962	656,413	553,661	676,111
<b>ESTIMATED REVENUES - ALL FUNDS</b>					
1,753,988					
<b>APPROPRIATIONS - ALL FUNDS</b>					
1,280,857					
<b>NET OF REVENUES/APPROPRIATIONS - ALL FUNDS</b>					
473,051					
<b>BEGINNING FUND BALANCE - ALL FUNDS</b>					
2,544,724					
<b>FUND BALANCE ADJUSTMENTS - ALL FUNDS</b>					
3,016,748					
<b>ENDING FUND BALANCE - ALL FUNDS</b>					
3,017,815					
<b>BEGINNING FUND BALANCE - ALL FUNDS</b>					
3,016,748					
<b>FUND BALANCE ADJUSTMENTS - ALL FUNDS</b>					
12,000					
<b>ENDING FUND BALANCE - ALL FUNDS</b>					
3,273,746					
<b>BEGINNING FUND BALANCE - ALL FUNDS</b>					
3,016,748					
<b>FUND BALANCE ADJUSTMENTS - ALL FUNDS</b>					
12,000					
<b>ENDING FUND BALANCE - ALL FUNDS</b>					
3,261,746					
<b>BEGINNING FUND BALANCE - ALL FUNDS</b>					
3,016,748					
<b>FUND BALANCE ADJUSTMENTS - ALL FUNDS</b>					
12,000					
<b>ENDING FUND BALANCE - ALL FUNDS</b>					
3,273,746					
<b>BEGINNING FUND BALANCE - ALL FUNDS</b>					
3,016,748					
<b>FUND BALANCE ADJUSTMENTS - ALL FUNDS</b>					
12,000					
<b>ENDING FUND BALANCE - ALL FUNDS</b>					
3,261,746					

# MEMO

**To: PENINSULA TOWNSHIP BOARD**  
**FR: ASSESSING DEPARTMENT**  
**RE: Part 361, Farmland and Open Space Preservation, P.A. No. 451 of 1994, Natural Resources  
And Environmental Protection Act**  
**DATE: MARCH 9, 2016**

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An application for Farmland and Open Space Preservation Program has been received by the township of James and Nancy Kieft of PO Box 252, Spring Lake, MI 49456 for Property ID No. 28-11-132-009-00, more commonly known as 1775 Nelson Road, Traverse City, MI 49686.

The execution and acceptance of a development rights agreement or easement between the state or local governing body and the owner dedicates to the public the development rights in the land for the term specified in the instrument. A development rights agreement or easement shall be for an initial term of not less than 10 years. A development rights agreement or easement entered into after June 5, 1996 shall not be for a term of more than 90 years.

Part of the application process includes township review of the application as required under MCL 324.36104(4) (see attached exhibit A). Subsection (4) references MCL 324.36116 which simply states the state land use agency may promulgate rules for the administration of this part (see exhibit B). With respect to the township, the local review from the state comes under Rule 554.733(1a through e).

## **Rule 554.733 Review**

Rule 33. (1) In reviewing an application for a farmland development rights agreement or a designated open space development rights easement, the local governing body shall consider first the ability of the land cited in the application to meet the eligibility requirements of the act, sections 324.36101(h) and (j)(i)(A) to (C) respectively. The local governing body may then take into consideration the following:

(a) The physical resource characteristics for agricultural or designated open space use.

**The property is conducive to agricultural use and the majority of land area is dedicated to orchard use.**

(b) Any encumbrance on the property

**There are no encumbrances on the property.**

(c) The relationship of the property to the entire farm operation if the application is for only a portion of the farm operation.

**The application is for the entire property and operation.**

(d) The percentage of the land cited in the application which actually meets the definition for farmland or designated open space.

**All of the land cited in the application meets the definition for “farmland” as defined in Section 324.36101(h)(i) (see exhibit C).**

(e) Any other criteria which the local governing body can demonstrate as being relevant to the application.

**The land use is harmonious with surrounding lands.**

Additional documentation is currently being prepared by township counsel and will be provided as a handout at the meeting, along with a recommendation for approval.

324.36106, 324.36110, 324.36111,  
324.36111a, 324.36112, and 324.36113.

§ 324.36104. Application for farmland development rights agreement; form; contents; notice; review, comments, and recommendations; approval or rejection; appeal; preparation, contents, execution, and recordation of agreement; reapplication; tax exemption.

Sec. 36104. (1) An owner of land desiring a farmland development rights agreement may apply by filing an application with the local governing body having jurisdiction under this part. The owner shall apply on a form prescribed by the state land use agency. The application shall contain information reasonably necessary to properly classify the land as farmland. This information shall include a land survey or a legal description of the land and a map showing the significant natural features and all structures and physical improvements located on the land.

(2) Upon receipt of the application, the local governing body shall notify the county planning commission or the regional planning commission and the soil conservation district agency. If the county has jurisdiction, it shall also notify the township board of the township in which the land is situated. If the land is within 3 miles of the boundary of a city or within 1 mile of the boundary of a village, the county or township governing body having jurisdiction shall notify the governing body of the city or village.

(3) An agency or local governing body receiving notice has 30 days to review, comment, and make recommendations to the local governing body with which the application is filed. These reviewing agencies do not have an approval or rejection power over the application.

(4) After considering the comments and recommendations of the reviewing agencies and local governing bodies, the local governing body holding the application shall approve or reject the application within 45 days after the application is received, unless that period is extended by agreement of the parties involved. The local governing body's approval or rejection of the application shall be based upon, and consistent with, rules promulgated by the state land use agency under section 36116.

(5) If an application for a farmland development rights agreement is approved by the local governing body having jurisdiction, the local

(8) A copy of the renewal or relinquishment of an open space development rights easement shall be sent to the local assessing office.

**History:** Add. 1995, Act 59, Imd. Eff. May 24, 1995.

**Popular name:** Act 451

**Popular name:** Farmland and Open Space

**Popular name:** NREPA

#### **324.36114 Injunction; penalty.**

Sec. 36114. If the owner or a successor in title of the land upon which a development rights agreement or easement has been recorded pursuant to this part changes the use of the land to a prohibited use or knowingly sells the land for a use other than those permitted in the development rights agreement or easement without first pursuing the provisions in sections 36110(2), 36111, 36112, and 36113, or receiving permission of the state land use agency, he or she may be enjoined by the state acting through the attorney general, or by the local governing body acting through its attorney, and is subject to a civil penalty for actual damages, which in no case shall exceed double the value of the land as established at the time the application for the development rights agreement or easement was approved.

**History:** Add. 1995, Act 59, Imd. Eff. May 24, 1995.

**Popular name:** Act 451

**Popular name:** Farmland and Open Space

**Popular name:** NREPA

#### **324.36115 Exchange of information.**

Sec. 36115. All departments and agencies of state government shall cooperate with the state land use agency in the exchange of information concerning projects and activities that might jeopardize the preservation of land contemplated by this part. The state land use agency shall periodically advise the departments and agencies of state government of the location and description of land upon which there exists development rights agreements or easements and the departments and agencies shall harmonize their planning and projects consistent with the purposes of this part.

**History:** Add. 1995, Act 59, Imd. Eff. May 24, 1995.

**Popular name:** Act 451

**Popular name:** Farmland and Open Space

**Popular name:** NREPA

#### **324.36116 Rules.**

Sec. 36116. The state land use agency may promulgate rules for the administration of this part.

**History:** Add. 1995, Act 59, Imd. Eff. May 24, 1995.

**Popular name:** Act 451

**Popular name:** Farmland and Open Space

**Popular name:** NREPA

#### **324.36117 Report; recommendations to legislature.**

Sec. 36117. The state land use agency shall prepare a report and make recommendations to the legislature not later than January 30, 1976, for a state plan for preserving open space lands, agricultural and horticultural lands, unique or critical land areas, recreational lands, and historic lands.

**History:** Add. 1995, Act 59, Imd. Eff. May 24, 1995.

**Popular name:** Act 451

**Popular name:** Farmland and Open Space

**Popular name:** NREPA

### PART 362 AGRICULTURAL PRESERVATION FUND

#### **324.36201 Definitions.**

Sec. 36201. As used in this part:

(a) "Agricultural conservation easement" means a conveyance, by a written instrument, in which, subject to permitted uses, the owner relinquishes to the public in perpetuity his or her development rights and makes a covenant running with the land not to undertake development.



Popular name: NREPA

### **324.35903 Data information sheets; compilation of information.**

Sec. 35903. (1) The department shall provide volunteer groups conducting litter cleanup efforts under this part with data information sheets and shall request that the volunteer groups record on the data information sheets the types of trash collected during the group's cleanup effort. The department shall request the data information to be forwarded to the department upon completion.

(2) The department shall compile information obtained from the data information sheets received pursuant to subsection (1) and shall include this information in the report prepared under section 35904.

History: Add. 1996, Act 88, Imd. Eff. Feb. 27, 1996.

Popular name: Act 451

Popular name: NREPA

### **324.35904 Annual report.**

Sec. 35904. The department shall annually report to the standing committees of the legislature that primarily consider issues pertaining to the protection of natural resources and the environment on the implementation and progress of the adopt-a-river program.

History: Add. 1996, Act 88, Imd. Eff. Feb. 27, 1996.

Popular name: Act 451

Popular name: NREPA

## PART 361

### FARMLAND AND OPEN SPACE PRESERVATION

#### **324.36101 Definitions.**

Sec. 36101. As used in this part:

(a) "Agricultural conservation easement" means a conveyance, by a written instrument, in which, subject to permitted uses, the owner relinquishes to the public in perpetuity his or her development rights and makes a covenant running with the land not to undertake development.

(b) "Agricultural use" means the production of plants and animals useful to humans, including forages and sod crops; grains, feed crops, and field crops; dairy and dairy products; poultry and poultry products; livestock, including breeding and grazing of cattle, swine, captive cervidae, and similar animals; berries; herbs; flowers; seeds; grasses; nursery stock; fruits; vegetables; maple syrup production; Christmas trees; and other similar uses and activities. Agricultural use includes use in a federal acreage set-aside program or a federal conservation reserve program. Agricultural use does not include the management and harvesting of a woodlot.

(c) "Conservation district board" means that term as defined in section 9301.

(d) "Development" means an activity that materially alters or affects the existing conditions or use of any land.

(e) "Development rights" means an interest in land that includes the right to construct a building or structure, to improve land for development, to divide a parcel for development, or to extract minerals incidental to a permitted use or as set forth in an instrument recorded under this part.

(f) "Development rights agreement" means a restrictive covenant, evidenced by an instrument in which the owner and the state, for a term of years, agree to jointly hold the right to undertake development of the land, and that contains a covenant running with the land, for a term of years, not to undertake development, subject to permitted uses.

(g) "Development rights easement" means a grant, by an instrument, in which the owner relinquishes to the public in perpetuity or for a term of years the right to undertake development of the land, and that contains a covenant running with the land, not to undertake development, subject to permitted uses.

(h) "Farmland" means 1 or more of the following:

(i) A farm of 40 or more acres in 1 ownership, with 51% or more of the land area devoted to an agricultural use.

(ii) A farm of 5 acres or more in 1 ownership, but less than 40 acres, with 51% or more of the land area devoted to an agricultural use, that has produced a gross annual income from agriculture of \$200.00 per year or more per acre of cleared and tillable land. A farm described in this subparagraph enrolled in a federal acreage set aside program or a federal conservation reserve program is considered to have produced a gross annual income from agriculture of \$200.00 per year or more per acre of cleared and tillable land.

(iii) A farm designated by the department of agriculture as a specialty farm in 1 ownership that has



produced a gross annual income from an agricultural use of \$2,000.00 or more. Specialty farms include, but are not limited to, greenhouses; equine breeding and grazing; the breeding and grazing of cervidae, pheasants, and other game animals; bees and bee products; mushrooms; aquaculture; and other similar uses and activities.

(iv) Parcels of land in 1 ownership that are not contiguous but that constitute an integral part of a farming operation being conducted on land otherwise qualifying as farmland may be included in an application under this part.

(i) "Local governing body" means 1 of the following:

(i) With respect to farmland or open space land that is located in a city or village, the legislative body of the city or village.

(ii) With respect to farmland or open space land that is not located in a city or village but that is located in a township having a zoning ordinance in effect as provided by law, the township board of the township.

(iii) With respect to farmland or open space land that is not described in subparagraph (i) or (ii), the county board of commissioners.

(j) "Open space land" means 1 of the following:

(i) Lands defined as 1 or more of the following:

(A) Any undeveloped site included in a national registry of historic places or designated as a historic site pursuant to state or federal law.

(B) Riverfront ownership subject to designation under part 305, to the extent that full legal descriptions may be declared open space under the meaning of this part, if the undeveloped parcel or government lot parcel or portions of the undeveloped parcel or government lot parcel as assessed and owned is affected by that part and lies within 1/4 mile of the river.

(C) Undeveloped lands designated as environmental areas under part 323, including unregulated portions of those lands.

(ii) Any other area approved by the local governing body, the preservation of which area in its present condition would conserve natural or scenic resources, including the promotion of the conservation of soils, wetlands, and beaches; the enhancement of recreation opportunities; the preservation of historic sites; and idle potential farmland of not less than 40 acres that is substantially undeveloped and because of its soil, terrain, and location is capable of being devoted to agricultural uses as identified by the department of agriculture.

(k) "Owner" means a person having a freehold estate in land coupled with possession and enjoyment. If land is subject to a land contract, owner means the vendee in agreement with the vendor.

(l) "Permitted use" means any use expressly authorized within a development rights agreement, development rights easement, or agriculture conservation easement that is consistent with the farming operation or that does not alter the open space character of the land. Storage, retail or wholesale marketing, or processing of agricultural products is a permitted use in a farming operation if more than 50% of the stored, processed, or merchandised products are produced by the farm operator for at least 3 of the immediately preceding 5 years. The state land use agency shall determine whether a use is a permitted use pursuant to section 36104a.

(m) "Person" includes an individual, corporation, limited liability company, business trust, estate, trust, partnership, or association, or 2 or more persons having a joint or common interest in land.

(n) "Planning commission" means a planning commission created by the local governing body under 1945 PA 282, MCL 125.101 to 125.115, 1959 PA 168, MCL 125.321 to 125.333, or 1931 PA 285, MCL 125.31 to 125.45, as applicable.

(o) "Prohibited use" means a use that is not consistent with an agricultural use for farmland subject to a development rights agreement or is not consistent with the open space character of the land for lands subject to a development rights easement.

(p) "Property taxes" means general ad valorem taxes levied after January 1, 1974, on lands and structures in this state, including collection fees, but not including special assessments, penalties, or interest.

(q) "Regional planning commission" means a regional planning commission created pursuant to 1945 PA 281, MCL 125.11 to 125.25.

(r) "Regional planning district" means the planning and development regions as established by executive directive 1968-1, as amended, whose organizational structure is approved by the regional council.

(s) "State income tax act" means the income tax act of 1967, 1967 PA 281, MCL 206.1 to 206.532, and in effect during the particular year of the reference to the act.

(t) "State land use agency" means the department of agriculture.

(u) "Substantially undeveloped" means any parcel or area of land essentially unimproved except for a dwelling, building, structure, road, or other improvement that is incidental to agricultural and open space uses.

(v) "Unique or critical land area" means agricultural or open space lands identified by the land use agency

RECEIVED  
JAN 16 2011



28-11-132-009-00  
**FARMLAND AND OPEN SPACE  
PRESERVATION PROGRAM**

Application for Farmland Agreement

Part 361 of the Natural Resources and Environmental Protection Act, 1994 Act 451 as amended, more commonly known as PA 116.

Please print or type. Attach additional sheets as needed. Please read the Eligibility and Instructions document before filling out this form.

<b>OFFICIAL USE ONLY</b>	
Local Governing Body:	
Date Received:	1/14/16 MOK
Application No:	
State:	
Date Received:	
Application No:	
Approved:	Rejected:

**ALL APPLICATIONS MUST BE APPROVED BY LOCAL GOVERNING BODY  
ON OR BEFORE NOVEMBER 1 IN ORDER TO BE EFFECTIVE FOR THE CURRENT TAX YEAR**

**I. Personal information:**

1. Name(s) of Applicant: KIEFT JAMES A  
Last First Initial

(If more than two see #15) KIEFT NANCY  
Last First Initial

Marital status of all individual men listed on application, if more than one, indicate status after each name:  
 Married  Single

2. Mailing Address: P.O. Box 252 SPRING LAKE MI 49456  
Street City State Zip Code

3. Telephone Number: (Area Code) 616 546-6902

4. Alternative Telephone Number (cell, work, etc.): (Area Code) 616 550-7354

5. E-mail address: DAN@KIEFT@SBCGLOBAL.NET

**II. Property Location (Can be taken from the Deed/Land Contract)**

6. County: GRAND TRAVERSE Township City or Village: BEAVERS LA

8. Section No. 32 Town No. 29 North Range No. 10 West

**III. Legal information:**

- 8. Attach a clear copy of the deed, land contract or memorandum of land contract. (See #14)
- 10. Attach a clear copy of the most recent tax assessment or tax bill with complete tax description of property.
- 11. Is there a tax lien against the land described above?  Yes  No  
If "Yes", please explain circumstances:

12. Does the applicant own the mineral rights?  Yes  No  
if owned by the applicant, are the mineral rights leased?  Yes  No  
Indicate who owns or is leasing rights if other than the applicant:  
Name the types of mineral(s) involved:

13. Is land cited in the application subject to a lease agreement (other than for mineral rights) permitting a use for something other than agricultural purpose:  Yes  No If "Yes", indicate to whom, for what purpose and the number of acres involved:

14. Is land being purchased under land contract  Yes  No: If "Yes", indicate vendor (seller):  
Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Street City State Zip Code

14a. Part 361 of the Natural Resources and Environmental Protection Act, 1994 Act 451 as amended, states that the vendor (seller) must agree to allow the land cited in the application to be enrolled in the program. Please have the land contract sellers sign below. (All sellers must sign).

Land Contract Vendor(s): I, the undersigned, understand and agree to permit the land cited in this application into the Farmland and Open Space Preservation Program.

Date

Signature of Land Contract Vendor(s) (Seller)

Application for Farmland Agreement

15. If the applicant is one of the following, please check the appropriate box and complete the following information (if the applicant is not one of the following - please leave blank):

- 2 or more persons having a joint or common interest in the land
- Corporation
- Estate
- Limited Liability Company
- Trust
- Partnership
- Association

If applicable, list the following: Individual Names if more than 2 Persons; or President, Vice President, Secretary, Treasurer; or Trustee(s); or Members; or Partners; or Estate Representative(s):

Name: \_\_\_\_\_ Title: \_\_\_\_\_

Name: \_\_\_\_\_ Title: \_\_\_\_\_

Name: \_\_\_\_\_ Title: \_\_\_\_\_

Name: \_\_\_\_\_ Title: \_\_\_\_\_

(Additional names may be attached on a separate sheet.)

IV. Land Eligibility Qualifications: Check one and fill out correct section(s)  
This application is for:

- a. 40 acres or more → complete only Section 16 (a thru g);
- b. 5 acres or more but less than 40 acres → complete only Sections 16 and 17; or
- c. a specialty farm → complete only Sections 16 and 18.

16. a. Type of agricultural enterprise (e.g. livestock, cash crops, fruit, etc):

FRUIT

- b. Total number of acres on this farm: 40
- c. Total number of acres being applied for (if different than above): \_\_\_\_\_
- d. Acreage in cultivation: 20.88
- e. Acreage in cleared, fenced, improved pasture, or harvested grassland: -0-
- f. All other acres (swamp, woods, etc.) 19.12 Woods
- g. Indicate any structures on the property: (if more than one building, indicate the number of buildings):

No. of Buildings \_\_\_\_\_ Residence: 1 Barn: \_\_\_\_\_ Tool Shed: 1-PORTABLE  
 Silo: \_\_\_\_\_ Grain Storage Facility: \_\_\_\_\_ Grain Drying Facility: \_\_\_\_\_  
 Poultry House: \_\_\_\_\_ Milling Parlor: \_\_\_\_\_ Milk House: \_\_\_\_\_  
 Other: (Indicate) \_\_\_\_\_

17. To qualify as agricultural land of 5 acres or more but less than 40 acres, the land must produce a minimum average gross annual income of \$200.00 per acre from the sale of agricultural products.

Please provide the average gross annual income per acre of cleared and tailable land during 2 of the last 3 years immediately preceding this application from the sale of agricultural products (not from rental income):

\$ \_\_\_\_\_ : \_\_\_\_\_ = \$ \_\_\_\_\_ (per acre)  
total income total acres of tailable land

18. To qualify as a specialty farm, the land must be designated by the Michigan Department of Agriculture, be 15 acres or more in size, and produce a gross annual income from an agricultural use of \$2,000.00 or more. If a specialty farm, indicate average gross annual income during 2 of the last 3 years immediately preceding application from the sale of agricultural products: \$ \_\_\_\_\_

Please note: specialty farm designation may require an on-the-farm site visit by an MDA staff person.

Application for Farmland Agreement

19. What is the number of years you wish the agreement to run? (Minimum 10 years, maximum 90 years); 10

V. Signature(s):

20. The undersigned declares that this application, including any accompanying informational material, has been examined by them and to the best of their knowledge and belief is true and correct.

[Signature]  
(Signature of Applicant)

\_\_\_\_\_  
(Corporate Name, if Applicable)

[Signature]  
(Co-Owner, if Applicable)

\_\_\_\_\_  
(Signature of Corporate Officer)

1-13-2016  
(Date)

\_\_\_\_\_  
(Title)

**ALL APPLICATIONS MUST BE APPROVED BY LOCAL GOVERNING BODY ON OR BEFORE NOVEMBER 1 IN ORDER TO BE EFFECTIVE FOR THE CURRENT TAX YEAR.**

**RESERVED FOR LOCAL GOVERNMENT USE: CLERK PLEASE COMPLETE SECTIONS I & II**

I. Date Application Received: 1/14/16 (Note: Local Governing Body has 45 days to take action)

Action by Local Governing Body: Jurisdiction: Peninsula Township  
 County  Township  City  Village

This application is  approved,  rejected Date of approval or rejection: \_\_\_\_\_  
(if rejected, please attach statement from Local Governing Body indicating reason(s) for rejection.)

Clerk's Signature: \_\_\_\_\_  
Property Appraisal: \$ 517,800 is the current fair market value of the real property in this application.

II. Please verify the following:

- Upon filing an application, clerk issues receipt to the landowner indicating date received.
  - Clerk notifies reviewing agencies by forwarding a copy of the application and attachments
- Note: Review Agencies have 30 days in which to respond before local governing body can proceed.
- \_\_\_\_\_ If rejected, applicant is notified in writing within 10 days stating reason for rejection and the original application, attachments, etc. are returned to the applicant. Applicant then has 30 days to appeal to State Agency.
  - \_\_\_\_\_ If approved, applicant is notified and the original application, all supportive materials/attachments, and letters of review/comment from reviewing agencies (if provided) are sent to:

MDA-Farmland and Open Space Program, PO Box 30449, Lansing 48909

\*Please do not send multiple copies of applications and/or send additional attachments in separate mailings without first contacting the Farmland Preservation office.

Please verify the following regarding Reviewing Agencies (sending a copy to reviewing agencies is required):

COPY SENT TO:

- County or Regional Planning Commission
- Conservation District
- N/A Township (if county has zoning authority)
- N/A City (if land is within 3 miles of city boundary)
- N/A Village (if land is within 1 mile of village boundary)

Before forwarding to State Agency, FINAL APPLICATION SHOULD INCLUDE:

- \_\_\_\_\_ Copy of Deed or Land Contract (most recent showing current ownership)
- \_\_\_\_\_ Copy of most recent Tax Bill (must include tax description of property)
- \_\_\_\_\_ Map of Farm
- \_\_\_\_\_ Copy of most recent appraisal record
- \_\_\_\_\_ Copy of letters from review agencies (if available)
- \_\_\_\_\_ Any other applicable documents

Questions? Please call Farmland Preservation at (517) 373-3328

1/15/16

1/15/16

Application for Farmland Agreement

Map of Farm with Structures and Natural Features:

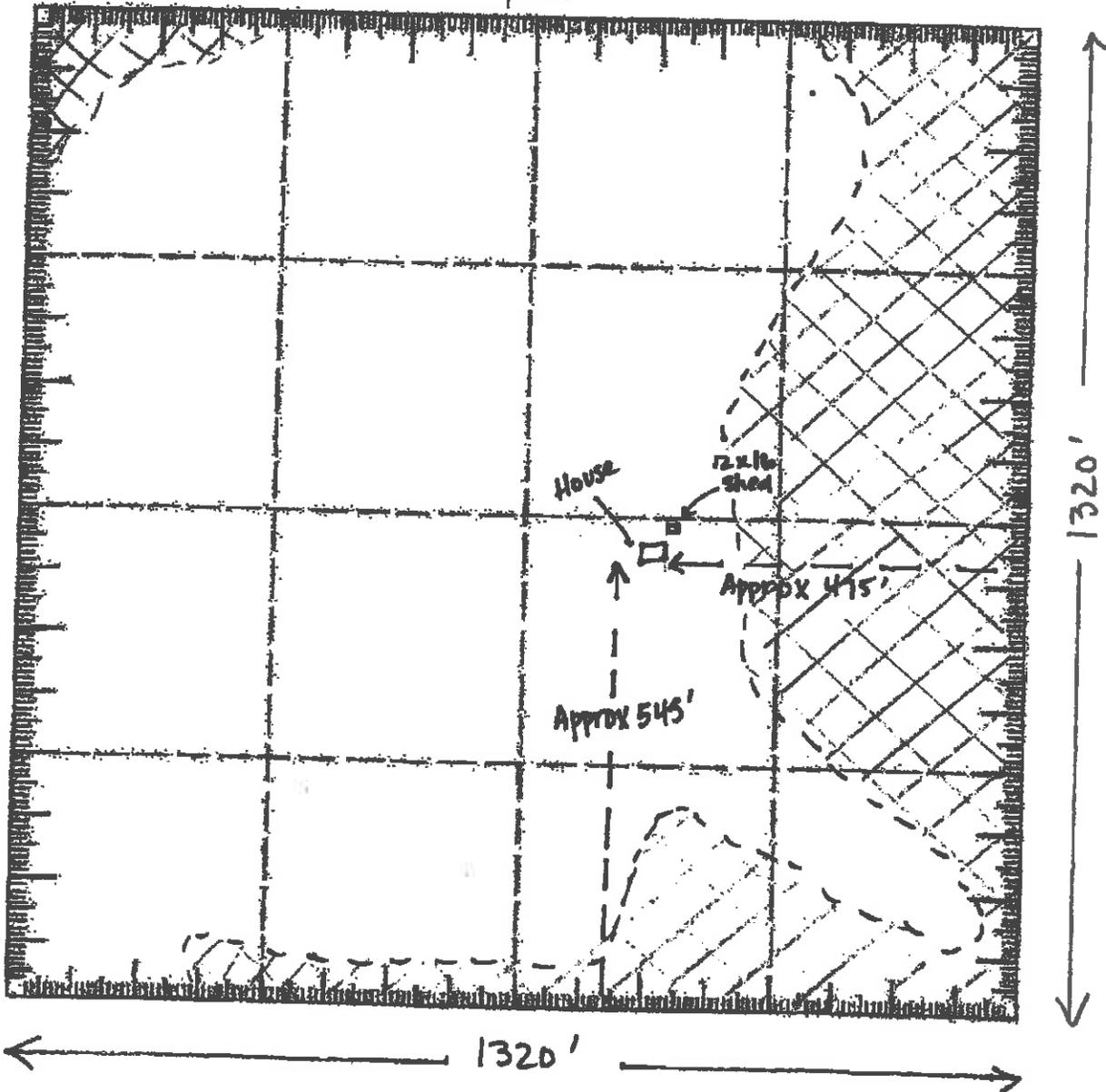
- A. Show boundary of land titled in application. (Grid below is designed to represent a 5280 ft<sup>2</sup> (1 mile<sup>2</sup>) Section)
  - B. Show all buildings (house(s), barn(s), etc.); also label roads and other avenues of travel (i.e. utility access, etc.).
  - C. Outline and designate the current uses of the property (crops, pasture, forest, swamp, etc.).
  - D. Clear copies of map(s) provided by USDA Farm Service Agency are acceptable, but please label any roads visible on map, structures and their use, etc.
- Note: Any residential structures housing persons not directly associated with the farm operation must be excluded from the application. Please indicate if a building falls in this category and provide the appropriate property description for its exclusion. Unless the appropriate description is included, your application cannot be processed.

☒ = Wooded

□ = Orchard

County Grand Traverse  
 Township Peninsula  
 T 29N R 10W Section 32

↑ North



25452

WARRANTY DEED

Grand Traverse, Antrim, Leelanau County Bar Association Form

The Grantor(s) JOHN H. HOPPIN, JR, Trustee of the John B. Hoppin, Jr. Trust U/A/D December 19, 1978, an undivided 1/4 \* whose address is 16888 Wunsch Road, Traverse City, MI 49684

convey(s) and warrant(s) to JAMES A. KIEFT and NANCY KIEFT, husband and wife, whose address is 7136 Leonard Road, Coopersville, MI 49404

the following described premises situated in the Township of Peninsula, County of Grand Traverse and State of Michigan:

The Southeast quarter of the Southeast quarter of Section 32, Town 29 North, Range 10 West.

\*interest; LILLIAN Z. HOPPIN, Trustee of the Lillian Z. Hoppin Trust U/A/D December 19, 1978, an undivided 1/4 interest; ELLIS A. WUNSCH, Trustee of the Ellis A. Wunsch Trust U/A/D May 15, 1985, an undivided 1/4 interest and ANN D. WUNSCH, Trustee of the Ann D. Wunsch Trust U/A/D May 15, 1985, an undivided 1/4 interest,

for the sum of ONE HUNDRED FIVE THOUSAND AND NO/100 (\$105,000.00) DOLLARS

subject to easements and building and use restrictions of record and further subject to reservations and other restrictions of record.

Dated this 18 day of April, 19 88

WITNESS AS TO: John H. Hoppin, Jr. & Lillian Z. Hoppin

Signed by: SEE REVERSE

Linda M. Smith
LINDA M. SMITH

Angela Acrivos
ANGELA ACRIVOS

JOHN H. HOPPIN, JR. TRUST
By: John H. Hoppin, Jr. Trustee
JOHN H. HOPPIN, JR. Trustee
LILLIAN Z. HOPPIN TRUST

By: Lillian Z. Hoppin, Trustee
LILLIAN Z. HOPPIN, Trustee

ELLIS A. WUNSCH TRUST
By: Ellis A. Wunsch, Trustee
ELLIS A. WUNSCH, Trustee

ANN D. WUNSCH TRUST
By: Ann D. Wunsch, Trustee
ANN D. WUNSCH, Trustee

STATE OF MICHIGAN FLORIDA
COUNTY OF Grand Traverse } SS

The foregoing instrument was acknowledged before me this 18 day of April 19 88, by John H. Hoppin, Jr., Lillian Z. Hoppin,

ANN D. WUNSCH, Trustee
Notary Public,
NGHERGER FL
NOTARY PUBLIC, STATE OF FLORIDA

For Register's Use
STATE OF MICHIGAN
GRAND TRAVERSE CO.
RECEIVED FOR RECORD
1988 APR 26 PM 12:02
REGISTER OF DEEDS

Michigan Department of Treasury  
1018 (Rev. 10-14)

# THIS IS NOT A TAX BILL

3111

L-4400

## Notice of Assessment, Taxable Valuation, and Property Classification

This form is issued under the authority of Public Act 206 of 1993, Sec. 211.24c and Sec. 211.34c, as amended. This is a model assessment notice to be used by the local assessor.

**PENINSULA TWP ASSESSOR**  
SALLY AKERLEY, MAO  
13235 CENTER ROAD  
TRAVERSE CITY MI 49686

2811-132-009-00  
**1775 NELSON RD**  
SE 1/4 OF SE 1/4 SEC 32 T28N R10W 40 A

NAME AND ADDRESS OF OWNER OR PERSON NAMED ON ASSESSMENT ROLL:

2811-132-009-00  
KIEFT JAMES A & NANCY  
PO BOX 252  
SPRING LAKE, MI 49456-0252



**PRINCIPAL RESIDENCE EXEMPTION**

% Exempt As "Homeowners Principal Residence":  
% Exempt As "Qualified Agricultural Property": 67.00  
% Exempt As "MBT Industrial Personal":  
% Exempt As "MBT Commercial Personal":  
Exempt As "Qualified Forest Property":  Yes  No  
Exempt As "Development Property":  Yes  No

ACCORDING TO MCL 211.34c THIS PROPERTY IS CLASSIFIED AS: **100 AGRICULTURAL**

PRIOR YEAR'S CLASSIFICATION: **100 AGRICULTURAL**

This change in taxable value will increase/decrease your 2015 tax bill by approximately: **\$ 42**

	PRIOR AMOUNT YEAR: 2014	CURRENT TENTATIVE AMOUNT YEAR: 2015	CHANGE FROM PRIOR YEAR TO CURRENT YEAR
1. TAXABLE VALUE:			
2. ASSESSED VALUE:	80,889	82,183	1,294
3. TENTATIVE EQUALIZATION FACTOR: 1.00000	260,100	258,900	-1,200
4. STATE EQUALIZED VALUE (SEV):	260,100	258,900	-1,200
5. There Was Not a transfer of ownership on this property in 2014.			

The 2015 Inflation Rate Multiplier is: 1.018

**March Board of Review Appeal Information:**

The Taxable Value, the Assessed Value, the State Equalized Value, the Property Classification, or the Transfer of Ownership may be appealed by filing a protest with the Local Board of Review. Protests are made to the Board of Review by completing a Board of Review Petition Form. A Petition Form may be obtained directly from the local unit or from the State Tax Commission at [www.michigan.gov/treasury](http://www.michigan.gov/treasury). Click on Forms (at top of page), then click on Property Tax, then click on Board of Review to obtain Form L-4035.

**YOUR ASSESSMENT CHANGED FOR THE FOLLOWING REASONS: MARKET CHANGE**  
BOARD OF REVIEW WILL MEET AT THE TOWNSHIP HALL (13235 CENTER RD, TRAVERSE CITY, MI 49686) ON MONDAY MARCH 6TH, 2015 FROM: 9AM-12PM & 1:30PM-5:30PM & 7PM-10PM AND TUESDAY MARCH 10, 2015 FROM: 9AM-11AM. PLEASE CALL THE ASSESSOR AT (231) 223-7313 IF YOU WOULD LIKE TO SCHEDULE AN APPOINTMENT (OFFICE HOURS: MON 7:30 AM-6:30 PM, TUE-THUR 7:30 AM-5:00 PM). LETTERS OF APPEAL WILL BE CONSIDERED IF RECEIVED BY MARCH 6, 2015.

Not less than 14 days before the meeting of the Board of Review, the assessment notice shall be mailed to the property owner.

Property taxes are calculated on the Taxable Value (see line 1 above). The Taxable Value number entered in the "Change from Prior Year to Current Year" column does not indicate a change in your taxes. This number indicates the change in the Taxable Value.

State Equalized Value is the Assessed Value multiplied by the Equalization Factor, if any. State Equalized Value must approximate 50% of market value.

IF THERE WAS A TRANSFER OF OWNERSHIP on your property in 2014, your 2015 Taxable Value will be the same as your 2015 State Equalized Value.

IF THERE WAS NOT A TRANSFER OF OWNERSHIP on your property in 2014, your 2015 Taxable Value is calculated by multiplying your 2014 Taxable Value by 1.018 (Inflation Rate Multiplier for the current year). Physical changes in your property may also increase or decrease your Taxable Value. Your 2015 Taxable Value cannot be higher than your 2015 State Equalized Value.

The denial of an exemption from the local school operating tax for "qualified agricultural properties" may be appealed to the local Board of Review. The denial of an exemption from the local school operating tax for a "homeowner's principal residence" may be appealed to the Michigan Tax Tribunal by the filing of a petition within 35 days of issuance of this notice. The petition must be a Michigan tax Tribunal form or a form approved by the Michigan Tax Tribunal. Michigan Tax Tribunal forms are available at [www.michigan.gov/taxtrib](http://www.michigan.gov/taxtrib).

Filing a protest with the Board of Review is necessary to protect your right to further appeal valuation and exemption disputes to the Michigan Tax Tribunal and classification appeals to the State Tax Commission. Properties classified Commercial Real, Industrial Real or Developmental Real may be appealed to the regular March Board of Review or to the Michigan Tax Tribunal by filing a petition by May 31. Commercial Personal, Industrial Personal, or Utility Personal Property may be appealed to the regular March Board of Review or to the Michigan Tax Tribunal by filing a petition by May 31 if a personal property statement was filed with the local unit prior to the commencement of the Board of Review as provided by MCL 211.19, except as otherwise provided by MCL 211.9m, 211.9n and 211.9o. The petition must be a Michigan Tax Tribunal form or a form approved by the Michigan Tax Tribunal. Michigan Tax Tribunal forms are available at [www.michigan.gov/taxtrib](http://www.michigan.gov/taxtrib).

**HOMEOWNER'S PRINCIPAL RESIDENCE AFFIDAVIT INFORMATION REQUIRED BY P.A. 114 OF 2012.** If you purchased your principal residence after May 1 last year, to claim the principal residence exemption, if you have not already done so, you are required to file an affidavit by June 1 for the immediately succeeding summer tax year levy and all subsequent tax levies or by November 1 for the immediately succeeding winter tax levy and all subsequent tax levies.

Peninsula 2015 Winter

MESSAGE TO TAXPAYER

Payable beginning Dec. 1st to Peninsula Township Treasurer. Office open Monday 7:30 am to 6:30 pm, Tuesday-Thursday 7:30 am - 5:00 pm. Closed Fridays. Upon request we will send a receipt. Pay bill online at peninsulatownship.com. Not responsible if paid on the wrong parcel. On 2/17/16 a 3% penalty applies. Delinquent balance payable to G. T. County beginning 3/1/16. Telephone #231-223-4484.

PAYMENT INFORMATION

This tax is due by: 02/16/2016
Pay by mail to: Peninsula Township
David K. Weatherholt, Treasurer
13235 Center Road
Traverse City, MI 49686
231-223-4484

PROPERTY INFORMATION

Property Assessed To:
KIEFT JAMES A & NANCY
PO BOX 252
SPRING LAKE, MI 49456-0252
District 28010
School: 28010
Prop #: 28-11-132-009-00
Prop Addr: 1775 NELSON RD
QUALIFIED AGRICULTURAL PROPERTY EXEMPTION
Legal Description:
SE 1/4 OF SE 1/4 SEC 32 T28N R16W 4E A

TAX DETAILS

Taxable Value: 82,183 100 AGRICULTURAL
State Equalized Value: 258,900 Class: 100
PRE/MST #: 67.0000
Mort Code:

Taxes are based upon Taxable Value.
1 mill equals \$1.00 per \$1000 of Taxable Value.
Amounts with no millage are either Special
Assessments or other charges added to this bill.

Table with 3 columns: DESCRIPTION, MILLAGE, AMOUNT. Rows include COA, NMC-OPERATING, NMC-DEBT, COA-SENIOR CEN, LIBRARY-OPER, LIBRARY DEBT, PENINSULA-OPER, FIRE S/A, POLICE, DEVELOPMENT PUR, PARK/NATURAL ARE, ROAD COM.

TOTAL AMOUNT DUE 681.12

OPERATING FISCAL YEARS

The taxes on bill will be used for governmental operations for the following fiscal year(s):

County: January 1 - December 31
Twp/City: April 1 - March 31
School: July 1 - June 30
State: October 1 - September 30

Does NOT affect when the tax is due or its amount

Please detach along perforation. Keep the top portion.

PLEASE RETURN THIS PORTION WITH PAYMENT. THANK YOU.

This tax is due by: 02/16/2015
After 02/16/2016 additional interest and fees apply

2015 Winter Tax for Prop #: 28-11-132-009-00

Pay this tax to:
Peninsula Township
David K. Weatherholt, Treasurer
13235 Center Road
Traverse City, MI 49686
231-223-4484

Make Check Payable To: Peninsula Township

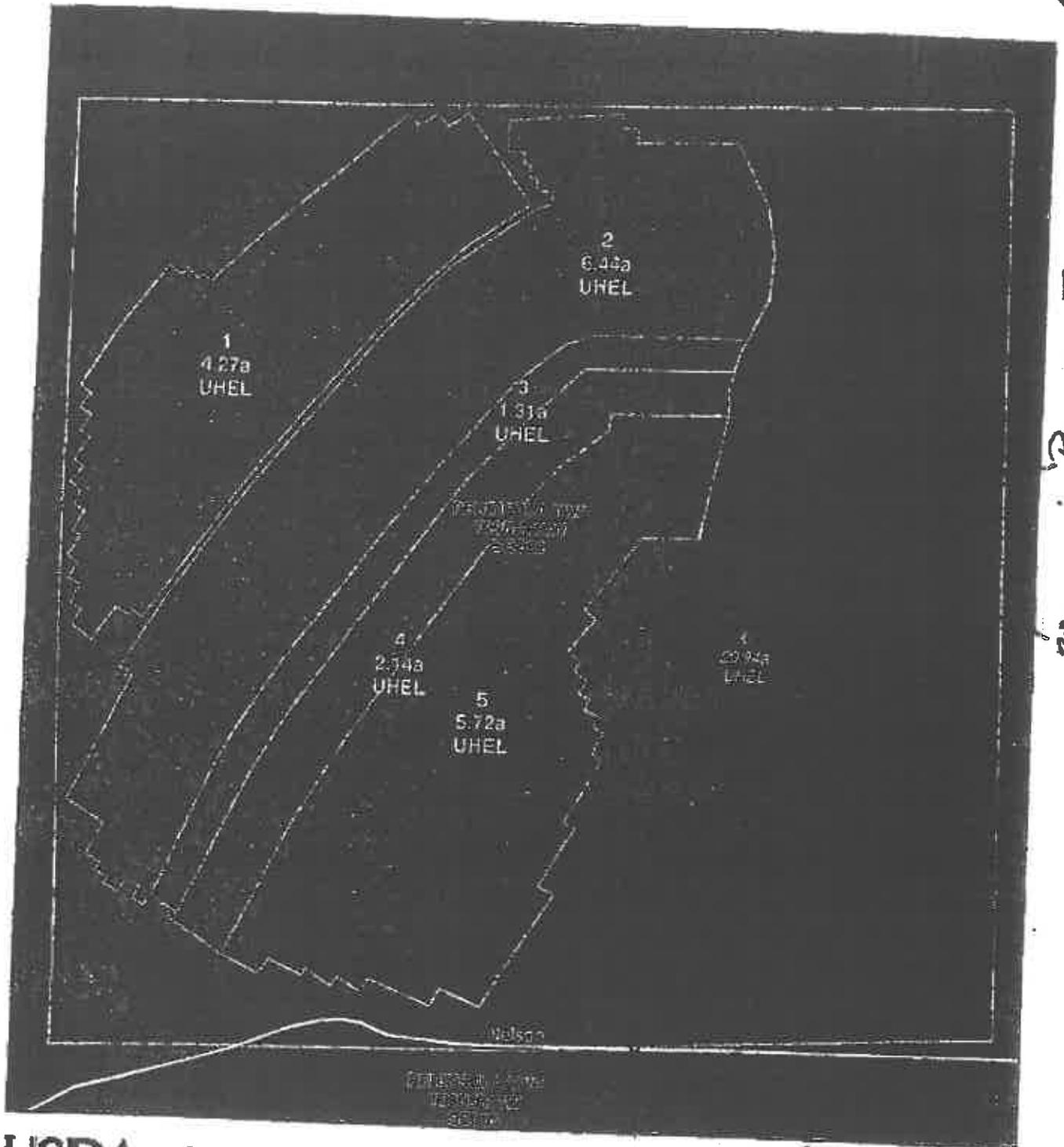
TOTAL AMOUNT DUE: 681.12

Amount Remitted:

Property Addr: 1775 NELSON RD

To: KIEFT JAMES A & NANCY
PO BOX 252
SPRING LAKE MI 49456-0252





POSSIBLE TOOL SHED  
 RESIDENCE



**Grand Traverse County FSA Office**  
 1501 Cass Street, Suite A  
 Traverse City, MI 49684-4187  
 (231) 941-0951 Ext 2

1.0 ACRES READY TO PLANT IN  
 August 19, 2013 TREES

**Farm: 1249**  
**Tract: 5301**

**2014 CROP YEAR**

- Wetland Determination Identifiers**
- Restricted Use
  - ▼ Inland Restricted Use
  - Exempt from Conservation Compliance Provisions
- HEL = Highly Erodible Land  
 NHEL = Not Highly Erodible Land  
 UHEL = Undetermined HEL

Disclaimer: Wetland identifiers do not represent the size, shape or specific determination of the area. Refer to your



## PLANNING & DEVELOPMENT

400 BOARDMAN AVENUE  
TRAVERSE CITY, MI 49684  
(P) 231.922.4676  
(F) 231.922.4636  
[www.grandtraverse.org/planning](http://www.grandtraverse.org/planning)

Planning  
Land Bank  
Housing Initiatives  
Economic Development  
Brownfield Redevelopment

February 17, 2016

Monica Hoffman, Clerk  
Peninsula Township  
13235 Center Road  
Traverse City MI 49686

**Re: 'PA 116' Farmland Easement Agreement Applications - Kieft**

Dear Ms. Hoffman:

In accordance with the provisions of Part 361 of the Natural Resources and Environmental Protection Act, Public Act 451 of 1994, (commonly referred to as PA 116), the Grand Traverse County Planning Commission has reviewed the application of James and Nancy Kieft regarding parcel 11-132-009-00 in Section 32 of Peninsula Township. At its meeting on February 16, 2016, the Grand Traverse County Planning Commission recommended approval of the subject application.

If you have any questions regarding this matter, please feel free to contact me at 922-4677.

Sincerely,

A handwritten signature in black ink, appearing to read "John C. Sych".

John C. Sych, AICP  
Planning & Development Director

cc: Pete Correia, Supervisor

# PENINSULA TOWNSHIP

13235 Center Road, Traverse City MI 49686

Ph: 231.223.7322 Fax: 231.223.7117

[www.peninsulatownship.com](http://www.peninsulatownship.com)

PETER A. CORREIA  
SUPERVISOR

MONICA A. HOFFMAN  
CLERK

DAVID K. WEATHERHOLT  
TREASURER

MARK D. AVERY  
TRUSTEE

JILL C. BYRON  
TRUSTEE

PENELOPE S. ROSI  
TRUSTEE

WENDY L. WITKOP  
TRUSTEE

January 15, 2016

County Planning  
Marsha Carmoney  
400 Boardman Ave.  
Traverse City MI 49684

COPY

Re: PA 116 application -- for James and Nancy Kieft -- Parcel Id # 28-11-132-009-00

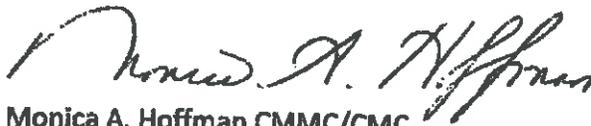
Dear Marsha,

Enclosed please find the PA 116 application for James and Nancy Kieft.

Parcel Id # 28-11-132-009-00.

Per the guild lines reviewing agencies have 30 days to respond before the local body can proceed.

Regards,



Monica A. Hoffman CMMC/CMC  
Peninsula Township Clerk

**February 2, 2016**

**Peninsula Township  
Attn: Monica Hoffman  
13235 Center Road  
Traverse City, MI, 49686**



**We have reviewed the Farmland and Open Space Preservation Program (PA 116) application from James and Nancy Kieft – Parcel ID 28-11-132-009-00 and have no comments for or against this application.**

**Thank you,**

**Laura Rigan**

**MAEAP Technician  
Grand Traverse Conservation District**

**ET**



**Grand Traverse  
Conservation District**

**231.941.0960  
www.natureiscalling.org  
1450 Cass Rd., Traverse City, MI 49685**

# PENINSULA TOWNSHIP

13235 Center Road, Traverse City MI 49686

Ph: 231.223.7322 Fax: 231.223.7117

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TRUSTEE

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TRUSTEE

PENELOPE S. ROSI  
TRUSTEE

WENDY L. WITKOP  
TRUSTEE

January 15, 2016

Grand Traverse County Conservation District  
Attn. Sam  
1450 Cass Road  
Traverse City MI 49684

Re: PA 116 application – for James and Nancy Kieft – Parcel Id # 28-11-132-009-00

COPY

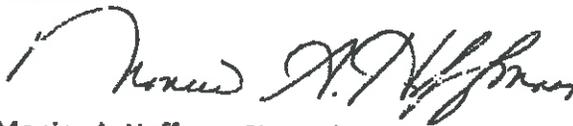
Dear Sam,

Enclosed please find the PA 116 application for James and Nancy Kieft.

Parcel Id # 28-11-132-009-00.

Per the guild lines reviewing agencies have 30 days to respond before the local body can proceed.

Regards,



Monica A. Hoffman CMMC/CMC  
Peninsula Township Clerk

# PENINSULA TOWNSHIP

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TREASURER

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TRUSTEE

JILL C. BYRON  
TRUSTEE

PENELOPE S. ROSI  
TRUSTEE

WENDY L. WITKOP  
TRUSTEE

January 15, 2016

James and Nancy Kieft  
PO Box 252  
Spring Lake Mi 49456

Re: PA 116 application

Dear James and Nancy,

This letter is to acknowledge that I have received your PA 116 application, and will be processing it according to the guild lines.

Regards,



Monica A. Hoffman CMMC/CMC  
Peninsula Township Clerk

COPY

**IMPORTANT INFORMATION THAT REQUIRES IMMEDIATE ATTENTION:**

You are currently enrolled in the Michigan Medicaid program. They are requiring re-validation to be done on your enrollment information with them in order to stay enrolled. This needs to be done by:

\_\_\_\_\_.

The enrollment is done through the Michigan Department of Community Health "CHAMPS" system. North Flight enrolled you on that system as they required it a few years ago. In order to revalidate at this time I will need some new information in order to complete the process. You can mail, fax or scan the information to me at [bfate1@mhc.net](mailto:bfate1@mhc.net).

Please provide the following information no later than <sup>ASAP</sup>~~1-30-2016~~ in order for me to get the revalidation done.

Please verify your location address:

Verify mailing address for payments to be sent:

Verify address for all other correspondence to be mailed to:

Copy of your current W-9 form:

Copy of your current state of Michigan License:

Complete list of ownership information, board members etc.: *(THIS IS A MEDICAID AND MEDICARE REQUIREMENT. THEY WILL NOT RE-ENROLL YOUR COMPANY WITHOUT THIS INFORMATION.)*

**This MUST include:**

Full Name

Home Address

Date of Birth

Social Security Number

Home phone number

Relationship to the company, (board member, etc)

Upon receipt of this information I will be able to go into CHAMPS and complete this process. Please feel free to contact me if you have any questions at 1-231-935-9536.

Brenda Fate

North Flight Billing Manager

1237 Hastings

Traverse City, MI 49686

1-231-935-9536

1-800-858-7141 ext # 4

FAX # 231-935-9545

*State of Michigan*  
**DEPARTMENT OF HEALTH & HUMAN SERVICES**  
*Life Support Agency License*

---

**Facility Name:** PENINSULA TWP FIRE

**Type of Service:** Ambulance Operation

**Facility Number:** 281007

**Issue Date:** 02/01/2016

**Expires:** September 30, 2016

**Level:** Basic

This license is valid for 60 days after the expiration date

**Geographic Service Area:** GRAND TRAVERSE

Peninsula Twp In Grand Traverse Co

Basic	1HTMNAAM73H597070	Ground Transport	2002-INTERNATI	092X550
Basic	1FDUF4HT7GEA67127	Ground Transport	2016-FORD	092X544
Basic	1FDXE46F3YHB68681	Ground Transport	2000-FORD	092X555

BHS/EMS - 184 (8/01)

Authority: Act 368, P.A. 1978, as amended

**PLEASE POST IN A PROMINENT PLACE**

# Request for Taxpayer Identification Number and Certification

**Give Form to the  
 requester. Do not  
 send to the IRS.**

Print or type  
 See Specific Instructions on page 2.

**1** Name (as shown on your income tax return). Name is required on this line; do not leave this line blank.  
**Township of Peninsula**

**2** Business name/disregarded entity name, if different from above

**3** Check appropriate box for federal tax classification; check only one of the following seven boxes:  
 Individual/sole proprietor or single-member LLC   
  C Corporation   
  S Corporation   
  Partnership   
  Trust/estate  
 Limited liability company. Enter the tax classification (C=C corporation, S=S corporation, P=partnership) ▶ \_\_\_\_\_  
 Note. For a single-member LLC that is disregarded, do not check LLC; check the appropriate box in the line above for the tax classification of the single-member owner.  
 Other (see instructions) ▶ **Government Entity**

**4** Exemptions (codes apply only to certain entities, not individuals; see instructions on page 3):  
 Exempt payee code (if any) \_\_\_\_\_  
 Exemption from FATCA reporting code (if any) \_\_\_\_\_  
*(Applies to accounts maintained outside the U.S.)*

**5** Address (number, street, and apt. or suite no.)  
**13235 Center Rd**

**6** City, state, and ZIP code  
**Traverse City MI 49686**

**7** List account number(s) here (optional)

Requester's name and address (optional)

**Part I Taxpayer Identification Number (TIN)**

Enter your TIN in the appropriate box. The TIN provided must match the name given on line 1 to avoid backup withholding. For individuals, this is generally your social security number (SSN). However, for a resident alien, sole proprietor, or disregarded entity, see the Part I instructions on page 3. For other entities, it is your employer identification number (EIN). If you do not have a number, see *How to get a TIN* on page 3.

**Note.** If the account is in more than one name, see the instructions for line 1 and the chart on page 4 for guidelines on whose number to enter.

Social security number									
			-			-			
or									
Employer identification number									
3	8	-	6	3	7	4	6	3	3

**Part II Certification**

Under penalties of perjury, I certify that:

1. The number shown on this form is my correct taxpayer identification number (or I am waiting for a number to be issued to me); and
2. I am not subject to backup withholding because: (a) I am exempt from backup withholding, or (b) I have not been notified by the Internal Revenue Service (IRS) that I am subject to backup withholding as a result of a failure to report all interest or dividends, or (c) the IRS has notified me that I am no longer subject to backup withholding; and
3. I am a U.S. citizen or other U.S. person (defined below); and
4. The FATCA code(s) entered on this form (if any) indicating that I am exempt from FATCA reporting is correct.

**Certification Instructions.** You must cross out item 2 above if you have been notified by the IRS that you are currently subject to backup withholding because you have failed to report all interest and dividends on your tax return. For real estate transactions, item 2 does not apply. For mortgage interest paid, acquisition or abandonment of secured property, cancellation of debt, contributions to an individual retirement arrangement (IRA), and generally, payments other than interest and dividends, you are not required to sign the certification, but you must provide your correct TIN. See the instructions on page 3.

**Sign Here**    Signature of U.S. person ▶ *Dahl Alhamet*    Date ▶ *2-11-2016*

**General Instructions**

Section references are to the Internal Revenue Code unless otherwise noted.

**Future developments.** Information about developments affecting Form W-9 (such as legislation enacted after we release it) is at [www.irs.gov/fw9](http://www.irs.gov/fw9).

**Purpose of Form**

An individual or entity (Form W-9 requester) who is required to file an information return with the IRS must obtain your correct taxpayer identification number (TIN) which may be your social security number (SSN), individual taxpayer identification number (ITIN), adoption taxpayer identification number (ATIN), or employer identification number (EIN), to report on an information return the amount paid to you, or other amount reportable on an information return. Examples of information returns include, but are not limited to, the following:

- Form 1099-INT (interest earned or paid)
- Form 1099-DIV (dividends, including those from stocks or mutual funds)
- Form 1099-MISC (various types of income, prizes, awards, or gross proceeds)
- Form 1099-B (stock or mutual fund sales and certain other transactions by brokers)
- Form 1099-S (proceeds from real estate transactions)
- Form 1099-K (merchant card and third party network transactions)

- Form 1098 (home mortgage interest), 1098-E (student loan interest), 1098-T (tuition)
- Form 1099-C (canceled debt)
- Form 1099-A (acquisition or abandonment of secured property)

Use Form W-9 only if you are a U.S. person (including a resident alien), to provide your correct TIN.

*If you do not return Form W-9 to the requester with a TIN, you might be subject to backup withholding. See What is backup withholding? on page 2.*

By signing the filled-out form, you:

1. Certify that the TIN you are giving is correct (or you are waiting for a number to be issued),
2. Certify that you are not subject to backup withholding, or
3. Claim exemption from backup withholding if you are a U.S. exempt payee. If applicable, you are also certifying that as a U.S. person, your allocable share of any partnership income from a U.S. trade or business is not subject to the withholding tax on foreign partners' share of effectively connected income, and
4. Certify that FATCA code(s) entered on this form (if any) indicating that you are exempt from the FATCA reporting, is correct. See *What is FATCA reporting?* on page 2 for further information.

## Monica Hoffman

---

**From:** Fate, Brenda <BFATE1@mhc.net>  
**Sent:** Thursday, February 18, 2016 3:05 PM  
**To:** clerk@peninsulatownship.com  
**Subject:** information for Medicaid enrollment  
**Attachments:** MX-M283N\_20160218\_142918.pdf

Hi Monica,  
I am attaching the guidelines from the Medicaid manual for enrollment.  
I hope this helps explain what is required for Medicaid.

When North Flight re-validated they had to submit ALL board members and all their private information. If you have any further questions you can call Medicaid at 1-800-292-2550.

Thanks

Brenda Fate  
North Flight/Ambulance Billing Manager  
1-800-858-7141 ext # 4, (59536)  
Fax 231-935-9545



## **SECTION 2 - PROVIDER ENROLLMENT**

An eligible provider who complies with all licensing laws and regulations applicable to the provider's practice or business in Michigan, who is not currently excluded from participating in Medicaid by state or federal sanction, and whose services are directly reimbursable per MDHHS policy may enroll as a Medicaid provider. Out-of-state providers must be licensed and/or certified by the appropriate standard-setting authority in the state they are practicing. (Refer to the **Beyond-Borderland Area** subsection of this chapter for more information.) In addition, some providers must also be certified as meeting Medicare or other standards as specified by MDHHS.

~~Providers (except managed care organizations) must have their enrollment approved through the on-line MDHHS CHAMPS Provider Enrollment (PE) subsystem to be reimbursed for covered services rendered to eligible Medicaid beneficiaries. Refer to the Directory Appendix for contact information related to the on-line application process, including a CHAMPS Preparation Checklist of required information.~~

Providers must have their social security number (SSN), employer identification, or tax identification number (EIN/TIN) registered with the Michigan Department of Technology, Management & Budget Vendor Registration prior to enrolling with MDHHS.

MDHHS is prohibited by federal law from issuing Medicaid payment to any financial institution or entity whose address is outside of the United States.

Providers electing to appoint another person to enter their MDHHS enrollment information in the CHAMPS PE subsystem on their behalf should complete and retain a copy of the MDHHS Electronic Signature Agreement (DCH-1401). (Refer to the Forms Appendix for a copy of the DCH-1401.)

Managed Care Organizations must complete their enrollment process through their MDHHS Contract Manager.

Providers of Durable Medical Equipment, Prosthetics, Orthotics and Supplies (DMEPOS) must be enrolled as a Medicare provider. Each DMEPOS provider must enter their Medicare Provider Transaction Access Number (PTAN) in the CHAMPS Provider Enrollment subsystem.

A provider's participation in Medicaid will be effective on the date the provider's on-line application is submitted, or a provider may request that enrollment be retroactive to a specific date when completing the on-line application. Retroactive enrollment is not considered prior to the effective date of licensure/certification. Enrollment may be retroactive one year from the date the request is received if the provider's licensure/certification is effective for that entire period. Retroactive enrollment eligibility is not a waiver for claims/services that do not meet established Medicaid billing criteria.

~~All providers are required to revalidate their Medicaid enrollment information a minimum of once every five years, or more often if requested by MDHHS. MDHHS will notify providers when revalidation is required. Providers must notify MDHHS within 35 days of any change to their enrollment information.~~

For information regarding substitute physician or a locum tenens arrangement, refer to the Practitioner Chapter of this manual.

A Medicaid Health Plan (MHP) is responsible for reimbursing a contracted provider or subcontractor for its services according to the conditions stated in the subcontract. The MHP must also reimburse noncontracted providers for properly authorized, medically necessary covered services.



## 2.1 PROVIDER OWNERSHIP AND CONTROL DISCLOSURES

Provider enrollment information, including home address, date of birth, and Social Security Number, is required from providers and other disclosed individuals (e.g., owners, managing employees, agents, etc.).

### 2.1.A. REQUIRED DISCLOSURE INFORMATION

Providers (including fiscal agents and managed care entities) are required to disclose the following information on ownership and control during enrollment, revalidation, and within 35 days after any change in ownership:

- The name and address of any person (individual or corporation) with ownership or control interest. The address for corporate entities must include, as applicable, primary business address, every business location, and P.O. Box address.
- Date of birth and Social Security Number (in the case of an individual).
- Other Tax Identification Number, in the case of a corporation, with an ownership or control interest or of any subcontractor in which the disclosing entity has a five percent or more interest.
- Whether the person (individual or corporation) with an ownership or control interest is related to another person with ownership or control interest as a spouse, parent, child or sibling; or whether the person (individual or corporation) with an ownership or control interest of any subcontractor in which the disclosing entity has a five percent or more interest is related to another person with ownership or control interest as a spouse, parent, child or sibling.
- The name of any other fiscal agent or managed care entity in which an owner has an ownership or control interest in an entity that is reimbursable by Medicaid and/or Medicare.
- The name, address, date of birth and Social Security Number of any managing employees.

### 2.1.B. CRIMINAL OFFENSE NOTIFICATION

Providers must notify the state licensing agency and MDHHS Provider Enrollment of any person(s) with an ownership or controlling interest in a facility that has been convicted of a criminal offense related to their involvement in any programs under Medicare, Medicaid, or Social Services Block Grants since the inception of these programs.

## 2.2 ENROLLMENT APPLICATION FEES

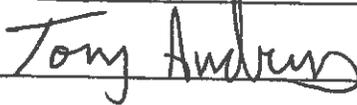
Enrollment application fees are required from all institutional providers, as defined by the Centers for Medicare & Medicaid Services (CMS). Individual physicians and non-physician practitioners are not considered Institutional providers and, as such, are not subject to an application fee. Providers who are enrolled in or have paid the application fee to Medicare or another state's Medicaid or Children's Health Insurance Program (CHIP) are not required to pay an application fee to the Michigan Medicaid Program. The fee is required for each enrolled provider type at the time of initial enrollment and re-enrollment.

Safe Boat Resolution

COPY

Peninsula Township Fire Board

On this day of March 7th 2016 the below signed members of the fire board hereby state that the safe boat should not be sold at this time. The fire board sees the safe boat as a vital part of the fire department and a proven asset to the community. To sell the safe boat would be cost prohibitive to the Township.

John Sprenger  3/7/2016  
Sherman Atkinson   
Tony Andrus   
Steve Ball \_\_\_\_\_  
Jon Goode \_\_\_\_\_