

Peninsula Township Variance Application

Application Guidelines

13235 Center Road, Traverse City MI 49686

Ph: 231.223.7322 Fax: 231.223.7117

www.peninsulatownship.com

1. Zoning Board of Appeals (ZBA) applications are available from the Peninsula Township Planning & Zoning Department, 7:30 a.m. to 6:30 p.m., Monday, and 7:30 a.m. to 5:00 p.m. Tuesday through Thursday, or online at www.peninsulatownship.com/zoning.
2. **Applications must be submitted to the Planning & Zoning Department at least four (4) weeks prior to the ZBA meeting. Twelve (12) copies must be submitted.**
3. If the applicant is not the property owner, a letter signed by the owner agreeing to the variance must be included with the application.
4. It is the applicant's responsibility to review and address the appropriate sections of the Zoning Ordinance prior to submission.
5. It is the applicant's responsibility to ensure that the application is complete upon submission. **Planning and Zoning Department staff will determine and confirm with the applicant that the application is complete.** An incomplete application will not be considered for review by the ZBA.
6. The application will be forwarded to members of the ZBA for a public hearing.
7. A notice of the public hearing must be mailed to the property owners and occupants within three hundred (300) feet of the subject property not less than fifteen (15) days before the public hearing.
8. The applicant will receive a notice of the public hearing in the mail and is expected to attend the meeting.
9. ZBA meetings are held on the third Tuesday of every month, beginning at 7:00 p.m. in the Township Hall, 13235 Center Road, Traverse City, MI 49686.
10. If the variance(s) are granted, **construction authorized by such variance(s) must begin within six (6) months after the granting of the variance, and the occupancy of land, premises, or buildings authorized by the variance must take place within one (1) year after the granting of the variance.**
11. If the variance(s) are granted, construction authorized by such variance(s) must comply with all other necessary permits. **A variance is independent from, and does not substitute for, all other permits.**
12. No application for a variance which has been denied wholly or in part by the Board shall be resubmitted for a period of one (1) year from the date of the last denial, except on the grounds of newly discovered evidence or proof of changed conditions found upon inspection by the Board to be valid.

OFFICE USE ONLY		
Date Received:	Fee Received:	Board Action:
Date Complete:	Meeting Date:	

Peninsula Township Variance Application

General Information

A fully completed application form, fee, and all related documents must be submitted to the Planning & Zoning Department at least four (4) weeks prior to the Zoning Board of Appeals meeting. **12 copies are required.**

Applicant Information

Applicant: Name Formation Architecture, LLC (Brittany Luea, AIA)
Address Line 1 2226 W South Airport Rd, Ste A
Address Line 2 Traverse City, MI 49684
Phone (231) 590-1591 Cell _____
E-mail design@formationarch.com

Owner: Name Zuri & Rachel Betz
Address Line 1 2088 Phelps Rd
Address Line 2 Traverse City, MI 49686
Phone (303) 907-2613 (Rachel) Cell _____
E-mail rachelbetz@rachelbetz.com

(If the applicant is not the property owner, a letter signed by the owner agreeing to the variance must be included with the application.)

Property Information

Parcel ID 11-109-029-04 Zoning R1A
Address Line 1 2088 Phelps Rd
Address Line 2 Traverse City, MI 49686

Type of Request

Indicate which Ordinance requirement(s) are the subject of the variance request:

- Front Yard Setback Side Yard Setback Rear Yard Setback
 Width to Depth Ratio Lot Coverage Off-Street Parking
 Signage Height/Width Non-Conformity Expansion
 Other: Please Describe: Damaged non-conforming structure

with new deck (per section 6.2.2 item 2d)

Attachments

- \$1,200.00 application fee
 Basic Conditions Worksheet
 Site plan drawn to scale showing the following:
 a. Property boundaries; Shoreline properties must show the Ordinary High Water Mark on a certified survey, and the Flood Elevation Line (3 feet above OHWM) if any;
 b. All existing and proposed structures including decks and roof overhangs;
 c. Setbacks for existing and proposed structures (varies by zoning district).
 Front elevation diagram drawn to scale.

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Basic Conditions Worksheet

In order for a variance to be justified, the Applicant must meet **all of the Basic Conditions**, as defined in Section 5.7.3(1) of the Peninsula Township Zoning Ordinance. The Applicant must answer the following questions pertaining to the Basic Conditions in detail. Please attach a separate sheet if necessary and label comments on the attached sheet with corresponding number/letter on application.

Section 5.7.3(1) Basic Conditions: The Board shall have the power to authorize, upon an appeal specific variances from such requirements as lot area and width regulations, building height and bulk regulations, yard and depth regulations, and off-street parking and loading space requirements, **provided all of the Basic Conditions listed herein can be satisfied.**

(1) **BASIC CONDITIONS:** The applicant must meet ALL of the following Basic Conditions. That any variance from this Ordinance:

- a) **That the need for the variance is due to unique circumstances or physical conditions, such as narrowness, shallowness, shape, water or topography, of the property involved and that the practical difficulty is not due to the applicant's personal or economic hardship.**

Is this condition met? Please explain: Yes. See attached.

- b) **The need for the variance is not the result of actions of the property owner (self-created) or previous property owners.**

Is this condition met? Please explain: Yes. See attached.

- c) **That strict compliance with area, setback, frontage, height, bulk, density or other dimension requirement will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome. (Because a property owner may incur additional costs in complying with this ordinance does not automatically make compliance unnecessarily burdensome.)**

Is this condition met? Please explain: Yes. See attached.

Yes.

Strict compliance with current dimensional requirements would prevent reasonable restoration of the existing covered porch associated with the historic cottage.

Because the dwelling and porch were constructed prior to the adoption of modern zoning regulations, the structure does not conform to current setback standards. Requiring strict compliance would prevent reconstruction of the existing covered deck structure, even though the work does not expand the building beyond its historic footprint.

Granting the variance allows the property owner to restore the covered deck configuration that has historically existed as part of the dwelling while maintaining the historic placement of the structure.

- d) That the variance will do substantial justice to the applicant as well as to other property owners in the district, or whether a lesser relaxation than applied for would give substantial relief to the owner of the property involved and be more consistent with justice to other property owners.**

Is this condition met? Please explain: Yes. See attached.

- e) That the variance will not cause adverse impacts on surrounding property, property values or the use and enjoyment of property in the neighborhood.**

Is this condition met? Please explain: Yes. See attached.

- f) That the variance shall not permit the establishment within a district of any use which is not permitted by right, or any use for which a conditional use or temporary use permit is required.**

Is this condition met? Please explain: Yes. See attached.

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Basic Condition Worksheet Answers

a) Yes.

The property contains a small fieldstone cottage believed to have been constructed in the late 1800s or early 1900s, well before the adoption of the Peninsula Township zoning ordinance in 1972. The structure reflects typical rural construction methods of the period, including fieldstone masonry walls and balloon framing.

The dwelling includes a covered porch that appears to have been added after the original construction of the cottage but exhibits construction characteristics consistent with early-to-mid twentieth century rural porch construction. The porch roof framing appears to be structurally integrated with the main roof framing of the cottage and reflects similar construction methods and materials. The deck framing and porch posts also appear to have existed for many decades.

Based on these characteristics, the porch and associated roof structure most likely predate the adoption of the Peninsula Township zoning ordinance in 1972 and therefore represent part of a lawful pre-existing nonconforming structure.

Because of the historic placement of the structure on the property, strict application of the current ordinance would prevent reconstruction of the existing covered porch configuration even though the work does not expand the historic footprint of the structure.

b) Yes.

The need for the variance is not self-created. The stone cottage and associated covered porch were believed to be constructed many decades before the adoption of the Peninsula Township zoning ordinance in 1972.

The existing structure represents a lawful, damaged pre-existing nonconforming structure. The request arises only from the need to repair and restore an existing structure in its historic location and does not result from any recent actions of the current property owner.

c) Yes.

Strict compliance with current dimensional requirements would prevent reasonable restoration of the existing covered porch associated with the historic cottage.

Because it is believed the dwelling and porch were constructed prior to the adoption of modern zoning regulations, the structure does not conform to current setback standards. Requiring strict compliance would prevent reconstruction of the existing covered deck structure, even though the work does not expand the building beyond its historic footprint.

Granting the variance allows the property owner to restore the covered deck configuration that has historically existed as part of the dwelling while maintaining the historic placement of the structure.

d) Yes.

Granting the variance allows restoration of a long-standing structure in the same location where it has historically existed for many decades.

Denial of the variance would prevent reconstruction of the covered deck that has historically existed as part of the structure. Because the proposal maintains the existing footprint and residential use of the property without expansion, approval provides fair and consistent treatment with other properties containing historic structures constructed prior to modern zoning regulations.

e) Yes.

The requested variance will not create adverse impacts on surrounding properties, property values, or neighborhood character.

The covered porch and roof have existed as part of the cottage for many decades. Restoration will replace deteriorated elements and bring the structure into compliance with current building codes, improving safety and structural integrity while maintaining the historic character of the dwelling.

The proposal does not increase the size of the deck and does not expand the existing encroachment. In fact, the reconstruction will reduce the size of the existing covered deck compared to what currently exists, further minimizing the nonconforming condition while preserving the long-standing character of the structure.

f) Yes.

The variance does not permit the establishment of any new or prohibited use. The property will continue to be used solely as a single residential dwelling, which is permitted within the zoning district.

The request is strictly for dimensional relief necessary to allow restoration and continued use of an existing structural element associated with a lawful pre-existing dwelling.

**Supporting Document
Historical Assessment of Existing Structure**

Property: 2088 Phelps Rd, Traverse City, MI

The existing structure on the property is a small fieldstone cottage believed to date to the late nineteenth or early twentieth century. This conclusion is based on several construction characteristics typical of rural cottages built in northern Michigan during that period.

The exterior walls are constructed of fieldstone, a building method commonly used for small farm cottages in the late 1800s and early 1900s. Interior framing visible within the structure includes balloon framing and plank wall sheathing, construction methods widely used during that time.

The dwelling also includes a covered porch along the west of the structure. Based on the materials and construction methods observed, the porch appears to have been added after the original construction of the cottage but is consistent with early-to-mid twentieth century rural porch construction (approximately 1920–1950).

The porch roof framing appears to be structurally integrated with the main roof framing of the cottage and utilizes dimensional lumber typical of early twentieth century construction. The deck framing and porch posts, which consist of simple timber posts and conventional framing supported on piers, also appear consistent with common rural porch construction from the early-to-mid twentieth century.

The metal roof covering appears to be a later replacement roofing material, which is common for older buildings. While the roofing material itself may have been installed more recently, the underlying structural roof system appears to be significantly older and likely predates the adoption of the Peninsula Township zoning ordinance in 1972.

Based on these construction characteristics, it is reasonable to conclude that the stone cottage likely dates to the late 1800s or very early 1900s, with the porch and associated roof and deck framing likely constructed sometime during the early-to-mid twentieth century.

These structural elements therefore most likely predate the adoption of the Peninsula Township zoning ordinance in 1972.



Formation Architecture
2226 W South Airport Rd, Ste A
Traverse City, MI 49684
(231) 590-1590
design@formationarch.com

March 10, 2026

Zoning Board of Appeals
Peninsula Township
13235 Center Rd
Traverse City, MI 49686

Re: Variance Application for
2088 Phelps Rd
Traverse City, MI 49686

Dear Members of the Zoning Board,

Please find enclosed our application for a zoning variance for the property located at **2088 Phelps Rd, Traverse City, MI 49686**, submitted on behalf of the property owners.

We respectfully request approval to rebuild the covering over the deck of an **existing damaged nonconforming structure** that we believe predates the adoption of the Peninsula Township zoning ordinance in 1972. The stone cottage on the property is believed to date to the late 1800s or early 1900s, and the covered porch and roof structure appear to have existed for many decades as part of the dwelling.

The existing deck is already covered; however, its current footings are deteriorated and are not suitable to build upon and therefore require replacement. The proposed rebuild of the deck itself falls within Section 6.2.2, Item 2(d) of the ordinance. **Our request to the Zoning Board specifically relates to the reconstruction of the covering over the deck, which is part of the existing damaged nonconforming structure.**

The proposed work does not expand the footprint of the existing structure and will in fact slightly reduce the size of the covered deck compared to what currently exists.

Supporting documentation of the structure is included with this submission.

This request is intended to allow the reasonable restoration and continued use of a long-standing structure rather than to create a new nonconformity. The proposed work will replace deteriorated elements while maintaining the historic configuration of the dwelling and its associated covered porch. Approval of this request will allow the property owners to safely maintain and preserve an older structure that has existed on the property for many decades.

FA | FORMATION
ARCHITECTURE

Enclosed Documents:

- \$1,200 Application Fee
- Basic Conditions Worksheet w/ Supporting Document
- Photos of Existing Conditions
- Site Plan Showing Existing and Proposed Conditions, including setbacks and property boundaries
- Plans and Elevations Showing Proposed Design

Thank you for your consideration.

Sincerely,



Brittany Luea, AIA
Architect
Formation Architecture, LLC



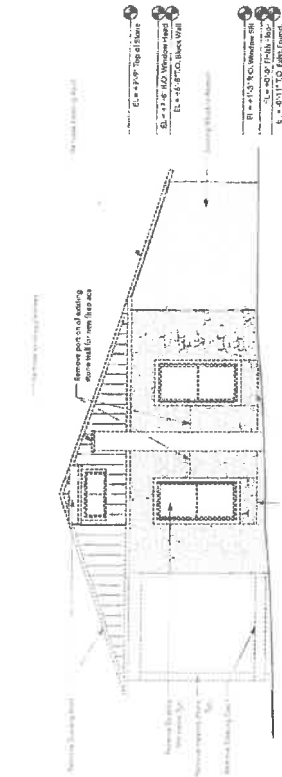
Rachel Betz
Home Owner

Betz Cottage
2088 Phelps Rd
Traverse City, MI
49786

Description Date
A Preliminary Site Plan 2/20/09



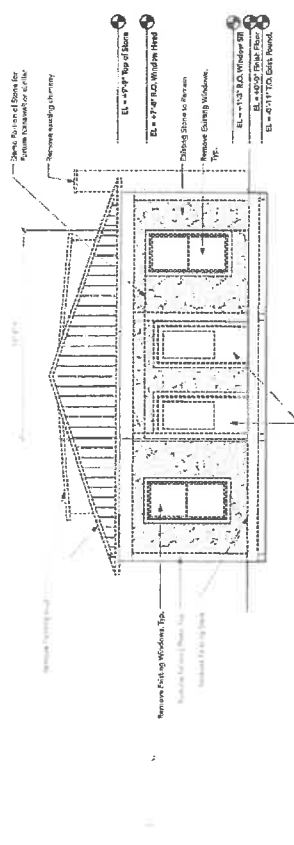
1 Site Plan
Scale: 1/8" = 1'-0"



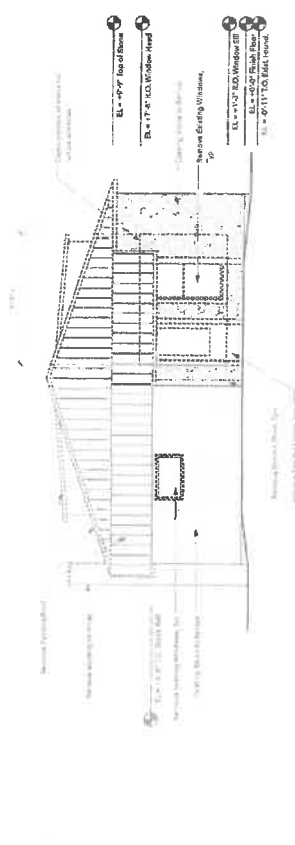
5 Demo North Elevation
 Scale: 1/8" = 1'-0"



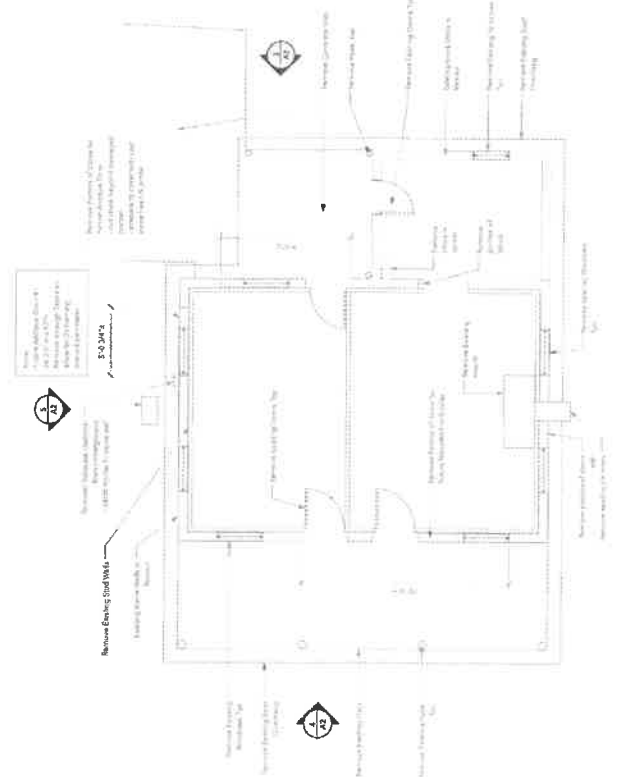
2 Demo South Elevation
 Scale: 1/8" = 1'-0"



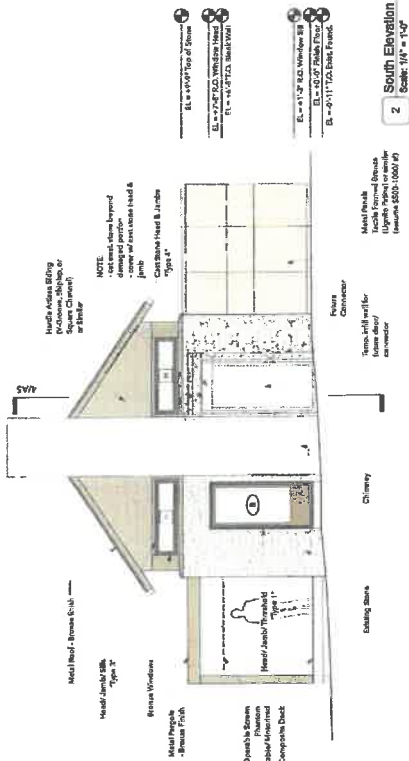
4 Demo West Elevation
 Scale: 1/8" = 1'-0"



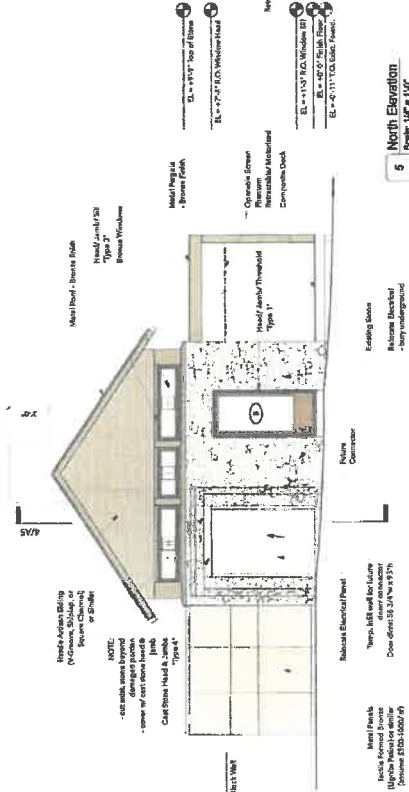
3 Demo East Elevation
 Scale: 1/8" = 1'-0"



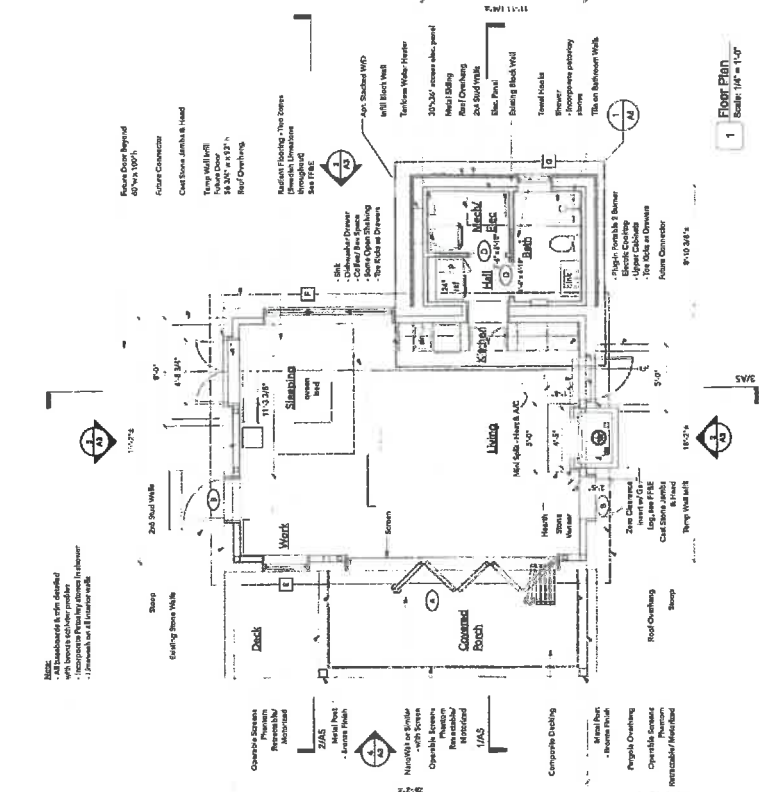
1 Demo Plan
 Scale: 1/8" = 1'-0"



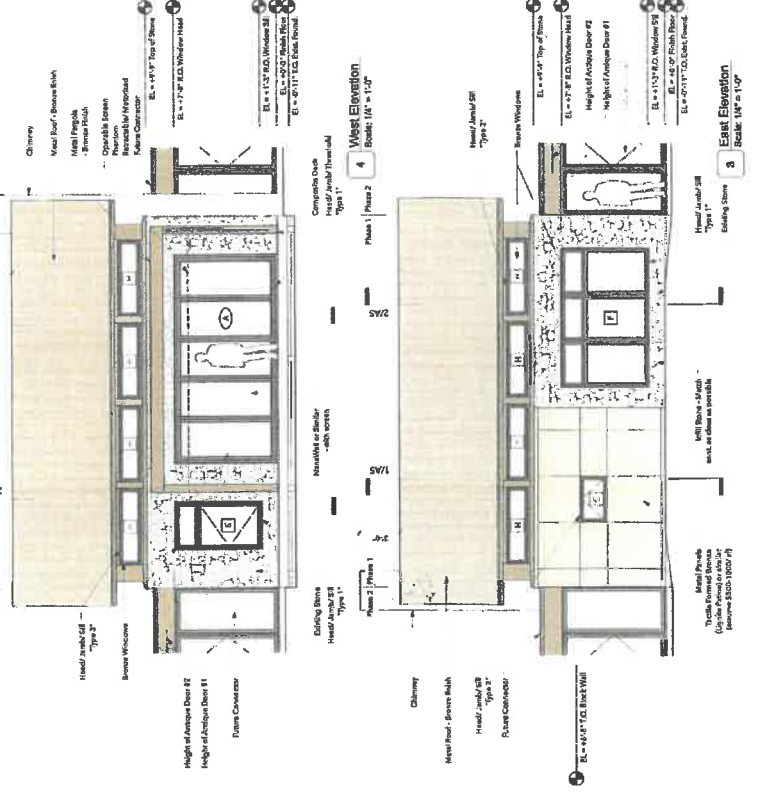
2 South Elevation
Scale: 1/4" = 1'-0"



5 North Elevation
Scale: 1/4" = 1'-0"



1 Floor Plan
Scale: 1/4" = 1'-0"



4 West Elevation
Scale: 1/4" = 1'-0"



3 East Elevation
Scale: 1/4" = 1'-0"



Image 1



Image 2



Image 3



Image 4



Image 5



Image 6



Photo 7



Photo 8